

CITY OF COLTON

PLANNING COMMISSION AGENDA

COUNCIL CHAMBERS, 650 NORTH LA CADENA DRIVE, COLTON, CA 92324

REGULAR MEETING – Tuesday, May 10, 2016 – 6:30 P.M.

Agenda For May 10, 2016 Planning Commission Meeting

Documents: [PC AGENDA 5-10-2016_.PDF](#), [PC AGENDA 5-10-2016_FINAL 2.PDF](#)

A. CALL TO ORDER

B. ROLL CALL

C. PLEDGE OF ALLEGIANCE

D. APPROVAL OF MEETING MINUTES

. April 26 P.C. Minutes

Documents: [2016_04-26_ MINUTES_.PDF](#)

E. PUBLIC COMMENTS

F. BUSINESS ITEMS

. DAP-001-240_1281 W. C Street_Cal Med Surgery Center

Documents: [PC STAFF REPORT_DAP-001-240_ARCH_CITY HUB_SURGERY CENTER_FINAL.PDF](#)

G. PUBLIC HEARINGS

H. DIRECTOR'S REMARKS/REVIEW OF CITY COUNCIL AGENDAS

I. COMMISSION COMMENTS

. J. ADJOURNMENT

Next Scheduled Meeting: Tuesday, May 24, 2016 at 5:30 p.m.

Documents Related to Open Session Agendas (SB 343). Any public record, relating to an open session agenda item, that is distributed within 72 hours prior to the meeting is available for public inspection Monday through Thursday 8:00 am to 4:00 p.m. at the City of Colton Development Services Department located at the Civic Center Annex (across the street from City Hall) at 659 N. La Cadena Drive, Colton, CA 92324.

Appeal of Planning Commission Action. If you challenge in court any action of the Planning Commission related to a public hearing item, you may be limited to raising only those issues you or someone else has raised at the public hearing described in this notice, or in written correspondence delivered to the City at, or prior to, the public hearing. A decision of the Planning Commission may be appealed to the City Council. An appeal must be filed within ten

(10) days following the appellant's receipt of notice of the action.

ADA Compliance. *In compliance with the American with Disabilities Act, if you need special assistance to participate in a Planning Commission Meeting, please contact the Planning Division at 909-370-5079. Notification forty-eight (48) hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.*



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1. April 26, 2016 Planning Commission Meeting Minutes

E. PUBLIC COMMENTS

F. BUSINESS ITEMS - None

G. PUBLIC HEARINGS:

1. **FILE INDEX NUMBER:** **DAP-001-240** **CAL MED SURGERY CENTER**

APPLICANT: **Hydam Construction (Abdul Mohammed, AIA)**

PROPERTY OWNER: Gnanadev Family Trust

PROPERTY LOCATION: 1281 West C Street

ASSESSOR'S PARCEL NUMBER: 0162-281-51 and 67

REQUEST: **Master Plan Review** for Area 24 of the Colton HUB City Center Specific Plan and **Architectural and Site Plan Review** to allow a 30,645 square foot, three story office building consisting of a pharmacy, medical offices and surgery center the HUB City Centre Specific Plan on a site located in Planning Area 24 within the RMU (Retail Mixed Use) Zone of the Colton HUB City Centre Specific Plan on property measuring approximately 2.18 acres (File Index No. DAP-001-240).

ENVIRONMENTAL DETERMINATION: Pursuant to the California Environmental Quality Act ("CEQA"), Section 15332 (Infill Development Projects), the project is categorically exempt from CEQA because the project meets the criteria for infill development projects in size and location and would not result in significant environmental impacts..

RECOMMENDATION: Staff recommends that the Planning Commission approve the Master Plan and Architectural & Site Plan Reviews through the adoption of attached Resolutions titled:

RESOLUTION NO. R-14-16: A RESOLUTION OF THE OF THE CITY OF COLTON PLANNING COMMISSION APPROVING MASTER PLAN AND ARCHITECTURAL AND SITE PLAN REVIEWS TO ALLOW FOR THE CONSTRUCTION OF A PROPOSED 30,645 SQUARE FOOT, THREE STORY SURGERY CENTER BUILDING CONSISTING OF A

PHARMACY, MEDICAL OFFICES AND SURGERY FACILITIES WITHIN THE HUB CITY CENTRE SPECIFIC PLAN ON A SITE LOCATED IN PLANNING AREA 24 WITHIN THE RMU (RETAIL MIXED USE) ZONE OF THE COLTON HUB CITY CENTRE SPECIFIC PLAN ON PROPERTY MEASURING APPROXIMATELY 2.18 ACRES LOCATED AT 1281 W. C STREET (APNs: 0162-281-51 and 67) (FILE INDEX NO. DAP-001-240).

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D. APPROVAL OF MEETING MINUTES

1. April 26, 2016 Planning Commission Meeting Minutes

E. PUBLIC COMMENTS

F. BUSINESS ITEMS:

1. **FILE INDEX NUMBER:** DAP-001-240 **CAL MED SURGERY CENTER**

APPLICANT: Hydam Construction (Abdul Mohammed, AIA)

PROPERTY OWNER: Gnanadev Family Trust

PROPERTY LOCATION: 1281 West C Street

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THE RMU (RETAIL MIXED USE) ZONE OF THE COLTON HUB CITY CENTRE SPECIFIC PLAN ON PROPERTY MEASURING APPROXIMATELY 2.18 ACRES LOCATED AT 1281 W. C STREET (APNs: 0162-281-51 and 67) (FILE INDEX NO. DAP-001-240).

G. PUBLIC HEARINGS - None

H. DIRECTOR'S REMARKS/REVIEW OF CITY COUNCIL AGENDAS

I. COMMISSION COMMENTS

J. ADJOURNMENT

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CITY OF COLTON
PLANNING COMMISSION AGENDA MINUTES
REGULAR MEETING – Tuesday, April 26, 2016– 5:30 P.M.

A. CALL TO ORDER at 5:35 p.m.

B. ROLL CALL

Commissioners Present:

Vice Chair Thomas Archuleta
Angel Delgado- Arrived at 5:45 p.m.
Rosa Granado-Dominguez
Gary Grossich
Kirk Larson

Commissioners Absent:

Chair Prieto- excused
Commissioner Arrieta- excused

City Staff:

Marco Martinez, City Attorney
Mark Tomich, Development Services Director
Mario Suarez, AICP, Senior Planner
Steve Gonzales, Associate Planner

C. PLEDGE OF ALLEGIANCE

Commissioner Granado-Dominguez led the pledge of allegiance.

D. APPROVAL OF MEETING MINUTES

1. April 12, 2016 Planning Commission Meeting Minutes

Motion and second by Commissioner Grossich/Commissioner Larson 4 to 0 to approve with corrections to Item G-1 (Resolution No. R-20-15) .Roll call vote as follows: Ayes- Vice Chair Archuleta, Commissioner Delgado, Commissioner Granado-Dominguez, Commissioner Grossich, and Commissioner Larson. Noes-none. Chair Prieto and Commissioner Arrieta- absent from vote.

E. PUBLIC COMMENTS

No.

Vice Chair Archuleta acknowledged Mayor Delarosa, Mayor Pro Tem Suchil and Council Member Navarro in attendance.

F. PUBLIC HEARINGS:

**1. FILE INDEX NUMBER: DAP-001-289 P&G BURGER
(Continued from April 12, 2016)**

APPLICANT: Peter Smirniotakis

PROPERTY OWNER: Louis Liu (Yum Yum Restaurant)

PROPERTY LOCATION: 2726 S. Iowa Avenue

ASSESSOR PARCEL NUMBER: 1167-111-26

PRESENTED BY: Steve Gonzales, Associate Planner

PUBLIC COMMENTS:

- Peter Smirniotakis, Applicant.
- Ahmed Radwan, owner of adjacent Shell station/carwash.
- Kathy Radder, LKB (business behind P & G).

REQUEST: Architectural & Site Plan Review for an addition/remodel to an existing restaurant and a new drive-through lane totaling 2,485 square feet, and a **Conditional Use Permit** to allow for the operation of a drive-through lane and a **Major Variance** to reduce the minimum parking space requirement of 26 spaces to 19 spaces for an eating establishment on property measuring approximately 21,400 sf (0.49 acre) located in the C-2 (General Commercial) Zone *(Continued from 04/12/16 Meeting)*.

ENVIRONMENTAL DETERMINATION: Pursuant to CEQA Guidelines Section 15301 – Existing Facilities - This section pertains to existing facilities, categorically exempting from CEQA proposed projects that involve negligible or no expansion beyond what currently exists at the time of environmental determination.

RECOMMENDATION: Staff recommends that the Planning Commission approve the Architectural & Site Plan Review/Conditional Use Permit, and Variance through the adoption of attached Resolutions titled:

RESOLUTION NO. R-10-16: A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF COLTON APPROVING ARCHITECTURAL AND SITE PLAN REVIEW FOR AN ADDITION/REMODEL TO AN EXISTING RESTAURANT AND A NEW DRIVE-THROUGH LANE TOTALING 2,485 SQUARE FEET, AND A CONDITIONAL USE PERMIT TO ALLOW FOR THE OPERATION OF A DRIVE-THROUGH LANE FOR AN EATING ESTABLISHMENT ON PROPERTY MEASURING APPROXIMATELY 21,400 SF (0.49 ACRE) LOCATED IN THE C-2 (GENERAL COMMERCIAL) ZONE (FILE INDEX NO. DAP-001-289) WITH THE ADDITION OF CONDITION NOS.6 (a) AND 6 (b).

RESOLUTION NO. R-13-16 - A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF COLTON APPROVING VARIANCE TO ALLOW A MAJOR VARIANCE TO REDUCE THE MINIMUM PARKING SPACE REQUIREMENT OF 26 SPACES TO 19 SPACES

FOR AN EATING ESTABLISHMENT ON PROPERTY MEASURING APPROXIMATELY 21,400 SF (0.49 ACRE) LOCATED IN THE C-2 (GENERAL COMMERCIAL) ZONE (FILE INDEX NO. DAP-001-289) WITH THE ADDITION OF CONDITION NOS.6 (a) AND 6 (b).

Motion and second by Commissioner Granado-Dominguez/ Commissioner Larson 5 to 0 to approve. Roll call vote as follows: Ayes- Commissioner Grando-Dominguez, Commissioner Larson, Commissioner Delgado, Vice Chair Archuleta and Commissioner Grossich. Noes-none. Chair Prieto and Commissioner Arrieta- absent from vote.

G. DIRECTOR'S REMARKS/ REVIEW OF CITY COUNCIL AGENDAS

None.

J. COMMISSION CONSIDERATION

Archuleta

- Wish the best for P & G.

Delgado

- Compliments to staff.

Granado-Dominguez

- Thank you to staff.

Grossich

- Thanks to staff for work on P & G project. Very pleased with the P & G project outcome.

Larson

- Good to see more projects coming before the Planning Commission.

K. ADJOURNMENT

Motion and second by Commissioner Granado-Dominguez/ Commissioner Larson to adjourn the meeting at 6:49 p.m.

Approved by: _____

Mark R. Tomich, AICP



Planning Commission Staff Report

CITY OF COLTON
Development Services Department
Planning Division

MEETING DATE: May 10, 2016

FILE INDEX NUMBER: DAP-001-240 (Cal-Med Surgery Center)

APPLICANT: Abdul Mohammed, AIA (Hydam Construction)

PROPERTY OWNER: Gnanadev Family Trust

REQUEST: **Master Plan Review** for Area 24 of the Colton Hub City Centre Specific Plan and **Architectural and Site Plan Review** to allow a 30,645 square foot, three story office building consisting of a pharmacy, medical offices and surgery center on a site located in Planning Area 24 of the RMU (Retail Mixed Use) Zone of the Colton’s Hub City Centre Specific Plan on property measuring approximately 2.18 acres (File Index No. DAP–001-240).

ACTIONS:
APPLICATION FILED: 07/09/2015
APPLICATION REVIEW COMMITTEE: 03/09/16 (provision of comments and conditions)
PLANNING COMMISSION: 05/10/16; **Decision**_____.
ENVIRONMENTAL DETERMINATION: Pursuant to the California Environmental Quality Act (“CEQA”), Section 15332 (Infill Development Projects), the project is categorically exempt from CEQA because the project meets the criteria for infill development projects in size and location and would not result in significant environmental impacts.

PROPERTY INFORMATION:

1. Location: 1281 W. C Street (APN: 0162-281-51 and 67)
2. Lot Size: 94,782 square feet or 2.18 acres
3. Existing Land Use: Vacant unimproved
4. General Plan: Colton’s Hub City Centre Specific Plan
5. Zoning: Retail Mixed Use - Hub City Centre SP, Parcel 24
6. Surrounding Properties:

	Existing Land Use	Zoning	General Plan Land Use
North	Cemetery	Public / Institution	Public Institution
South	Vacant	RMU – Hub City Centre SP	Hub City Centre SP
East	Commercial/Vacant	RMU – Hub City Center SP	Hub City Center SP
West	Hospital	RMU – Hub City Centre SP	Hub City Centre SP

Building Permit Actions

None

Past Planning Actions

None

PROPERTY DESCRIPTION/SITE PHOTOS:

Together, the two existing parcels that comprise the subject property measure approximately 2.18 acres and generally form a “square” shaped lot for the proposed development. The subject property has an increase in topography from a south to north direction with the highest point along the north property line at 4 to 20 foot difference from C Street to the southern boundary of the site. The site has been periodically tilled for weed control and is vacant and unimproved. Commercial buildings and associated parking are located adjacent to the site to the west. A childcare center is located on the east side of the site. An approximately 2 to 6-foot high wrought-iron/masonry block wall exists along the east property line. The frontage of the site is unimproved, without curbs and gutters, and sidewalks.

Looking Northwest Aerial View – Subject site in red rectangle below:



Looking southwest towards Meridian Avenue.



PROPOSAL:

The applicant is proposing to develop the subject property with a new outpatient surgery center, medical offices and pharmacy. The proposed project will include:

- A first floor consisting of 10,464 square feet of medical offices and an additional 2,442 square feet of pharmacy store;
- A second floor consisting of 9,155 square feet of medical offices; and
- A third floor consisting of 9,144 square feet of medical offices.

The applicant is proposing to combine two lots (31,262.2 square feet + 72,309.6) into one lot which will require a parcel map.

Master Plan Requirement for Area - Per the Hub City Centre Specific Plan, any application for a proposed project within the RMU (Retail Mixed Use) Land Use designation shall include a Master Plan for the entire respective Planning Area 24 and shall be submitted prior to building design review. The Objectives of the Master Plan include the following:

- a. The project is designed in a cohesive manner with adjacent areas;
- b. provides vehicular and pedestrian access to adjacent sites and major roadways, and
- c. is consistent with all Community Planning and Design Principals and all design guidelines in the Hub City Centre Specific Plan.

Included in your attachment is a copy of the Master Plan document which is part of the development project review. While the rest of the area is being planned, the master plan document will provide a general conceptual framework for the location of buildings and organizing other infrastructure, internal circulation, street signage and site/architectural details, and address other land use compatibility issues. Staff will provide a detailed presentation at the Planning Commission meeting. (Attachment 1)

ANALYSIS

ZONING CODE COMPLIANCE:

The following analysis is based upon RMU (Retail Mixed Use) Zone of the Hub City Centre SP

Code Standard	Required/Minimum	Proposed	Compliance
Lot Area	.75 acre	2.81	Yes
Lot Width	130'	307'	Yes
Lot Depth	130'	301'	Yes
Setback from C Street	15'	104	Yes
Setback, West PL	15'	90'	Yes
Setback, East PL	15'	90.54'	Yes
Setback, South PL	15"	90'	Yes
Building Height	60'	44' (3 story medical)	Yes
Landscaping	All areas of the site not occupied by buildings, parking, service and storage areas, or otherwise utilized shall be fully landscaped.	All areas of the site not occupied by buildings, parking, service and storage areas, or otherwise utilized shall be fully landscaped	Yes
	At least 5% of trees must be 36-inch box	0%	Conditioned to comply

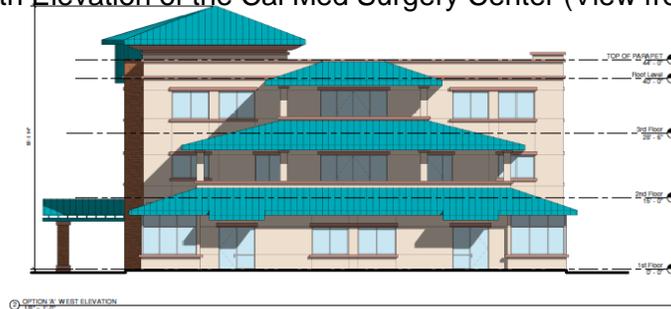
Code Standard	Required/Minimum	Proposed	Compliance
	At least 20% of trees must be 24-inch box	100%	Yes
Parking	Medical -1/200sf = 144 Pharmacy -1/250sf = 10 Total – 154 spaces required	155 Parking Spaces	Yes
Accessible Parking	Min. 6 spaces required	6 provided	Yes
Trash Area	Trash containers shall be provided with sufficient capacity for use and shall screened with 6' wall with gate	Collection areas have been provided.	Yes

Site Design: The project’s site design is in compliance with the specific plan’s development standards. This makes it difficult to design pedestrian access to the site. However, the applicant does provide adequate parking and disabled parking as required by City codes. On the west side of the site is an area set aside to include pedestrian access to the west and south side of the overall project. This pedestrian plan is acceptable because the path of travel, landscape requirements and safety concerns for pedestrians have been addressed. This will be one of the first new office building constructed on Planning Area 24, as such will essentially establish the architectural theme for the area.

Building Elevations: The proposed surgery center will incorporate a contemporary modern architectural design. The design will complement the existing contemporary design of the hospital building located to the west of the subject property. The color pallet for the buildings will include light tan for exterior stucco with light rose color for accents. The architect is proposing a Colorado Honey Ledge Stone veneer along main entry and around the building to serve as architectural accents to the building. The building includes a proposed “turquoise color” standing seam metal roof which compliments the overall architecture of the building.



North Elevation of the Cal Med Surgery Center (View from W. C St.)



West Elevation of the Cal Med Surgery Center (View from Hospital.)



South Building Elevation (View from freeway or vacant lot)



East Building Elevation (View from abutting lot)

Neighborhood Compatibility – The project site abuts various cemetery and commercial uses including the cemetery on the north and commercial on the west. The proposed landscaping adds an additional layer of improvement to the property and will help ensure neighborhood compatibility.

ENVIRONMENTAL DETERMINATION:

The Planning Commission of the City of Colton, in accordance with the California Environmental Quality act, has found that the project will not have a significant impact on the environment and is Categorical Exempt from CEQA under Article 19, Section 15332 – In-fill Development Projects, Class 32 of the CEQA Guidelines. This section pertains to in-fill development consistent with the City General Plan and Zoning that would not result in any significant effects relating to traffic, noise, air quality, or water quality and can be adequately served by required public utilities and services on sites of no more than five acres, substantially surrounded by urban uses, which has no value as habitat for endangered, rare or threatened species.

RECOMMENDATION:

Staff recommends that the Planning Commission approve the Master Plan and Architectural and Site Plan Reviews through the adoption of attached Resolution No. R-14-16 titled:

RESOLUTION NO. R-14-16:

A RESOLUTION OF THE OF THE CITY OF COLTON PLANNING COMMISSION APPROVING MASTER PLAN AND ARCHITECTURAL AND SITE PLAN REVIEWS TO ALLOW FOR THE CONSTRUCTION OF A PROPOSED 30,645 SQUARE FOOT, THREE STORY SURGERY CENTER BUILDING CONSISTING OF A PHARMACY, MEDICAL OFFICES AND SURGERY FACILITIES WITHIN THE HUB CITY CENTRE SPECIFIC PLAN ON A SITE LOCATED IN PLANNING AREA 24 WITHIN THE RMU (RETAIL MIXED USE) ZONE OF THE HUB CITY CENTRE SPECIFIC PLAN ON PROPERTY MEASURING APPROXIMATELY 2.18 ACRES LOCATED AT 1281 W. C STREET (APNs: 0162-281-67 and 151) (FILE INDEX NO. DAP-001-240).

ATTACHMENTS:

1. Draft Master Plan Document
2. Draft Planning Commission Resolution No. R-14-16
3. Site, Floor and Building Elevation Plans


Prepared By:
Mario Suarez, AICP Senior Planner


Reviewed By:
Mark Tomich, AICP, Director

ATTACHMENT 1

Draft Master Plan Document

Colton's Hub City Centre Specific Plan Planning Area 24 Master Plan

Prepared for:
City of Colton
659 North La Cadena Drive
Colton, CA 92324

Prepared by:
The Altum Group
73-710 Fred Waring Drive, Suite 219
Palm Desert, CA 92260
760-346-4750

April 2016

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Acronyms and Abbreviations

ARMC	Arrowhead Regional Medical Center
BRT	Bus Rapid Transit
CBC	California Building Code
CHCCSP	Colton’s Hub City Centre Specific Plan
CUSM	California University of Science and Medicine
DSF	Delhi Sands Flower-loving Fly
Omnitrans	Regional Transportation Agency
OMU	Office Mixed Use
R	Retail
RMU	Retail Mixed Use
RES	Residential
OMU	Office Mixed Use
SCAG	Southern California Association of Governments

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Chapter 1 Introduction

1.1 Project Summary

The *Planning Area 24 Master Plan* is a binding document outlining the goals, policies and development standards of the Colton's Hub City Centre Specific Plan (CHCCSP) that apply to the planning area, to allow for the future development of land within the 43.8-acre planning area.

1.2 Document Purpose

The CHCCSP stipulates that the first application for development in Planning Area 24, shall include a Master Plan for the entire respective planning area. The Master Plan shall be provided prior to building design reviews by the City. All future parcel development within Planning Area 24 will also follow the design and development guidelines contained in this Master Plan which stem from the CHCCSP design and development guidelines. The impetus for the development of the Master Plan is the potential new Surgery Center proposed by Cal-Med, near the northwest corner of Meridian Avenue and C Street. In addition, California University of Science and Medicine (CUSM) is currently in escrow to purchase approximately 22 acres of City-owned property along the east side of Meridian Avenue between C Street and Valley Blvd for future medical office and related uses, including possible future phases of the CSUM campus. Other proponents have expressed interest in using the area at the northeast corner of Meridian Avenue and Valley Blvd (approximately 3.6 acres) for office space and retail uses. Therefore, these project proponents are responsible for the preparing the *Planning Area 24 Master Plan*.

1.3 Planning Area 24 Location

As shown in Exhibit 1, *Project Vicinity*, Planning Area 24 is located within the eastern portion of the CHCCSP in the City of Colton. The planning area is bounded on the north by C Street, on the east by Hermosa Avenue, on the south by Valley Blvd, and on the west by Meridian Avenue. The planning area is easily accessible from each of these streets. Adjacent land uses include: north of the C Street - the Hermosa Gardens cemetery and an approximately 7-acre Delhi Sands Flower-loving Fly conservation area; to the east - a railroad spur line; to the south - the I-10 Freeway; and to the west - the Arrowhead Regional Medical Center and future home of Phase I of the CUSM campus. Exhibit 2, *Land Use Plan*, shows Planning Area 24 and its relationship to the existing Arrowhead Regional Medical Center (ARMC) and the future CUSM site.

1.3.1 Master Plan Objectives and Purpose

The objective of this Master Plan is to ensure that any proposed plan by an applicant for any one location or portion of the Planning Area is: 1) designed in a cohesive manner with adjacent parcels and adjacent planning areas; 2) provides vehicular and pedestrian access to adjacent sites and major roadways; and 3) is consistent with all Community Planning and Design Principles in CHCCSP Section 2.0 and other design guidelines and development regulations in other sections of the CHCCSP.

In requiring the preparation of a Master Plan, it is understood that an applicant may not own all the properties in a given planning area, and/or may not have any agreements to acquire or lease all acres within that planning area. In such cases, the Development Services Director or his/her designee shall determine the extent of involvement, if any, of other property owners, e.g., whether meetings with adjacent or nearby property owners are necessary during preparation of the Master Plan.

For an applicant's parcel, the Master Plan shall identify: 1) the proposed building pads and / or conceptual building footprints, 2) parking areas; and 3) the locations for vehicular and pedestrian access for ingress and egress to the subject site, to adjacent parcels, and to roads shown in the CHCCSP Circulation Plan. For parcels in the same planning area other than those of the applicants, the Master Plan shall conceptually identify all these same elements. Only general boundaries of parking areas need to be shown, not parking stalls.

1.3.2 Plan Area Existing Characteristics

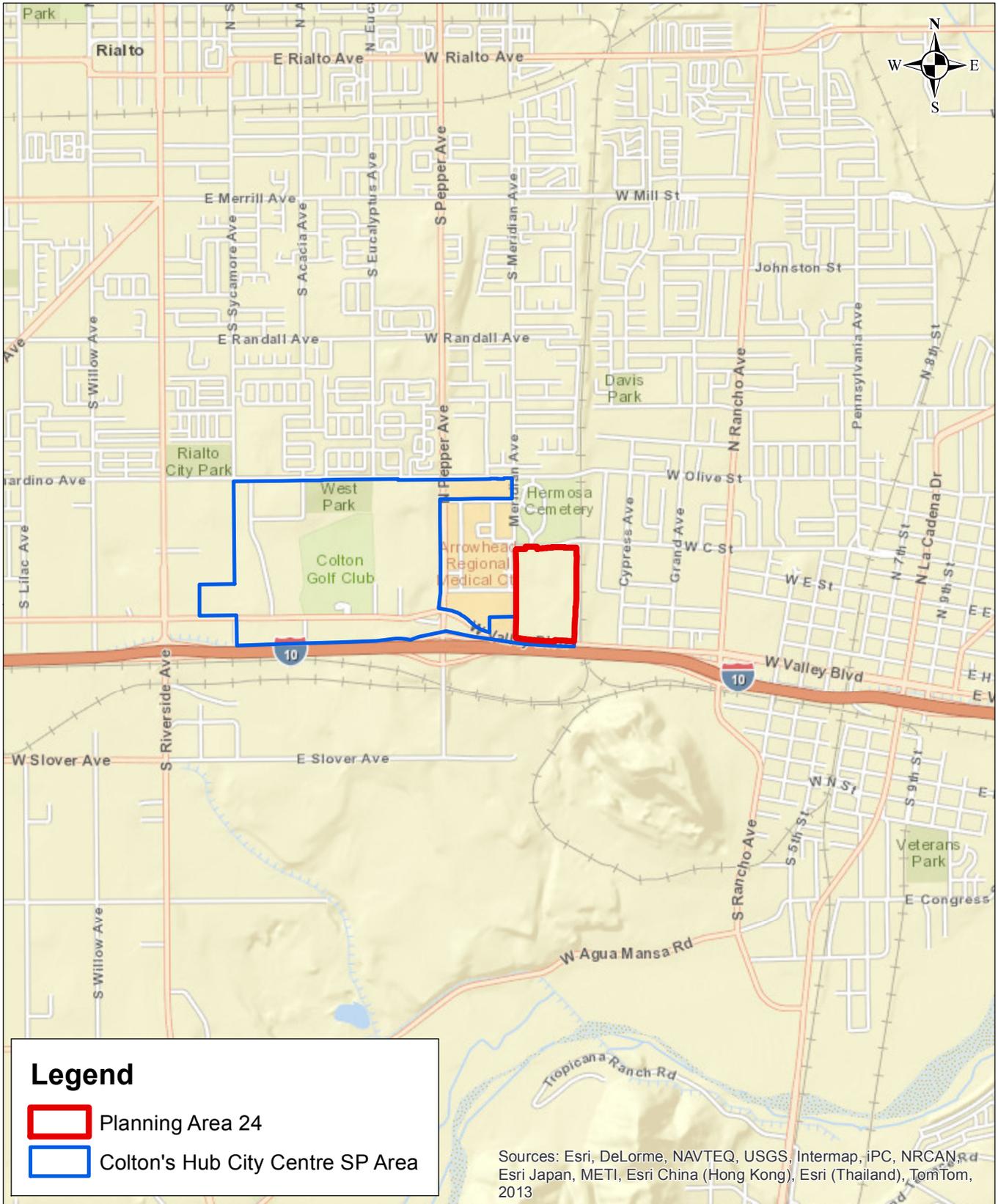
As shown in Exhibit 2, Planning Area 24 is designated for Retail Mixed Use (RMU) in the CHCCSP; a designation that allows a flexible mix of retail, office and business uses. While retail is preferred as the primary land use, the RMU designation is intended to provide broad flexibility to respond to both the City's vision and market needs of the region. Planning Area 24 is approximately 43.8 acres; approximately 22 vacant acres along Meridian Avenue between C Street and Valley Blvd are owned by the City of Colton and being purchased by the CUSM proponents. The remaining approximately 20.3 acres are occupied with residential (northeast corner of C Street and Hermosa Avenue); Colton Unified School District Yard and Continuation High School; Spa sales, RV storage and retail store (northwest corner of Hermosa Avenue and Valley Boulevard), and vacant land along Hermosa Avenue.

Exhibit 3, *Existing Conditions in Planning Area 24*, show the current status of vacant and developed parcels. Table 1, *Summary of Existing Conditions*, lists the parcels by number and describes their location and existing uses. Six of the parcels (ID 1-6) totalling 22.3 acres, are

1. INTRODUCTION

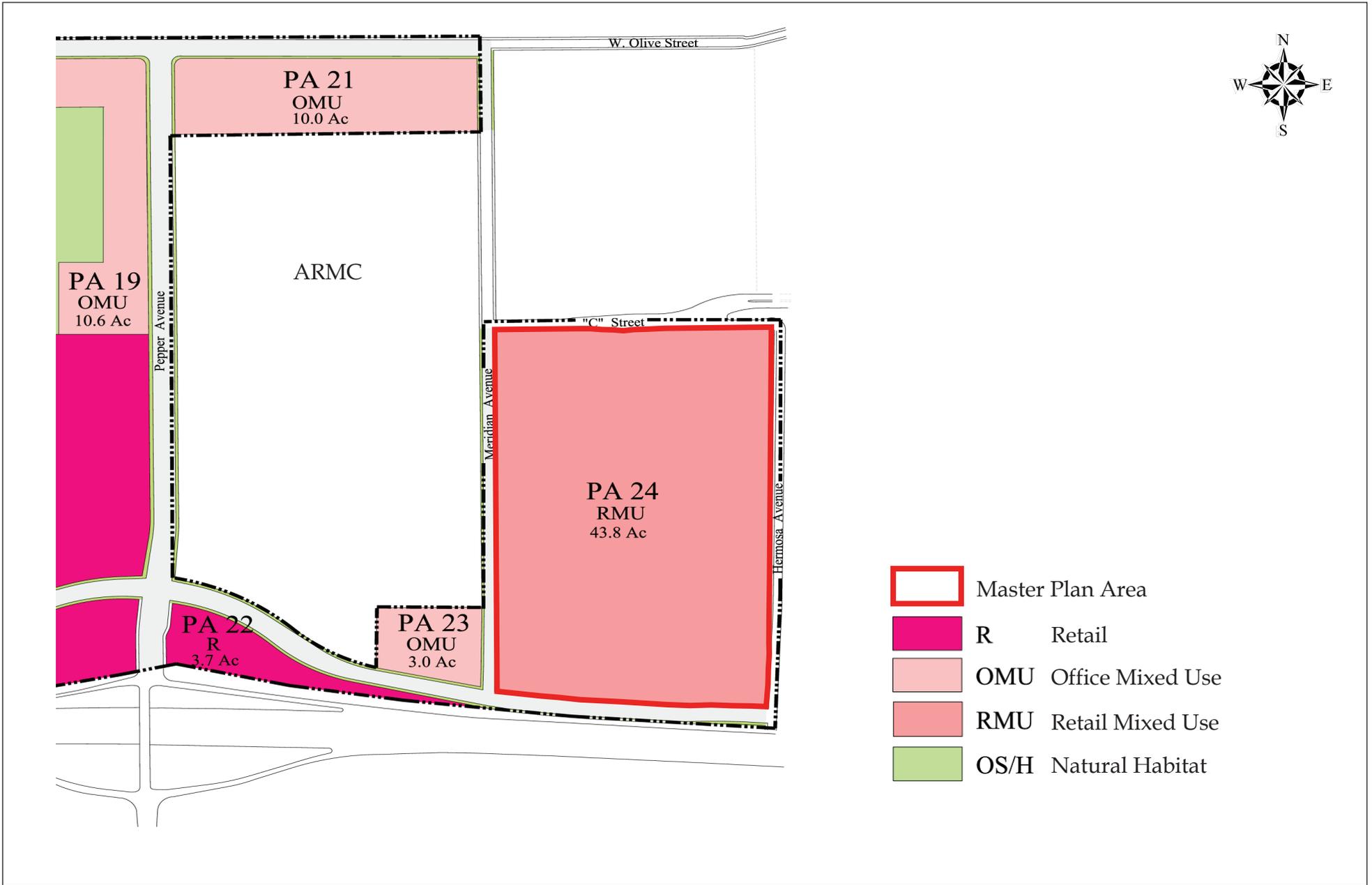
owned by the City of Colton that are near close of escrow for CUSM future use. This area comprises the land along Meridian Avenue from the intersection with Valley Blvd to approximately 300 feet south of C Street, as well as a linear parcel, approximately 1.3 acres that extends easterly to intersect with Hermosa Avenue.

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Project Vicinity Planning Area 24 Master Plan

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1 inch = 500 feet



Existing Site Conditions
 Planning Area 24 Master Plan

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1. INTRODUCTION

Table 1 Summary of Existing Conditions

ID	Parcel No.	Location	Existing Land Use
1	016228152	Southwest corner of Meridian Ave and C St.	Vacant
2	016228134	Mid Block of Meridian Ave	Vacant
3	016228104	Mid Block of Meridian Ave	Vacant
4	016228166	Mid Block of Meridian Ave	Vacant
5	016228156	NE Corner of Valley Blvd and Meridian Ave	Vacant
6	016228114	Mid block of Hermosa Ave	Vacant
7	016228151	Mid block of C St	Vacant
8	016228167	Mid block of C St	Vacant
9	016228138	Mid block of Hermosa Ave	Vacant
10	016228136	Mid block of Hermosa Ave	Vacant
11	016228168	Mid block of C St	Medical Office
12	016228132	Mid block of C St	Residential – Single Family
13	016228160	Mid block of C St	Residential - Vacant
14	016228161	Mid block of C St	Residential – Single Family
15	016228108	Mid block of C St	Residential – Single Family
16	016228148	SE corner of Meridian Ave and Hermosa Ave	Residential – Single Family
17	016228159	SE corner of Hermosa Ave and C St	Residential – Single Family
18	016228158	SE corner of Hermosa Ave and C St	Residential – Single Family
19	016228147	SE corner of Hermosa Ave and C St	Residential – Single Family
20	016228115	Mid block of Hermosa Ave	Residential – Single Family
21	016228165	Mid block of Hermosa Ave	High School
22	016228162	NW corner of Hermosa Ave and Valley Blvd	Commercial RV Repair/Storage
23	016228163	NW corner of Hermosa Ave and Valley Blvd	Commercial RV Repair
24	016228164	NW corner of Hermosa Ave and Valley Blvd	Commercial RV and Spa
25	016228155	Mid Block on Valley Blvd W of Hermosa Ave	Colton USD Yard

The remaining vacant area includes an approximately 2.2-acre (Parcel ID 7) near the southwest corner of C Street and Meridian Avenue and currently proposed as a new medical office building/surgery center, an approximately 1.3-acre vacant parcel (Parcel ID 8); and approximately 6.5 acres in two vacant parcels along Hermosa Avenue (Parcel ID 9 and 10) south of the residential neighborhood. All of this area has the potential for development.

The remaining parcels included in the Master Plan are developed and therefore carry land use designations associated with their existing uses. If, at a future time, any of these parcels are proposed for new development, those project proponents would be subject to the design guidelines and development standards set forth in this Master Plan.

1.1.3 Vision

The Vision for the CHCCSP and Planning Area 24 is to restore a sense of community, vibrancy and vitality of the small town atmosphere. This includes incorporating a range of uses all within walking distance of one another, including retail, offices and medical uses. In addition, the Vision includes creating a new main street setting, new employment opportunities and establishing a new strong economic base for the City. Exhibit 4, *Master Plan Land Uses*, shows existing and potential future land uses in the planning area to achieve this vision. Exhibit 5, *Conceptual Master Plan for Planning Area 24*, builds from Exhibit 4 by providing some detail on potential new uses and how they may interconnect to create a mixed use pedestrian accessible community.

Exhibits 6, *Circulation Plan*, Exhibit 7, *Storm Drain Master Plan*, Exhibit 8, *Water Master Plan*, and Exhibit 9, *Sewer Master Plan*, are taken from the CHCCSP, and show the existing and proposed infrastructure required to support future land uses in the planning areas on the east side of the CHCCSP project area (planning areas 21, 22, 23 and 24).

The CHCCSP identifies a number of reasons why the CHCCSP project area, and in particular, Planning Area 24, is well positioned to transform the vision into reality. These are as follows:

1. **Location.** The CHCCSP is strategically located with direct access and visibility from the I-10 Freeway / Pepper Avenue interchange and is within a short distance to the Riverside Avenue / I-10 Freeway interchange. Major improvements to the I-10 Freeway / Pepper Avenue interchange scheduled for 2017, including increasing the number of travel lanes, will enhance the desirability of the area. Planning Area 24 is in close proximity to the I-10 / Pepper Avenue interchange for easy access to future land uses in the planning area.
2. **Freeway Access and Visibility.** The CHCCSP project area includes over one mile of I-10 Freeway frontage with 200,000+ vehicles per day passing by the site with an interchange located at Pepper Avenue. It is located in the heart of the Inland Empire, within 3.5 miles of the I-215 Freeway and 10.5 miles of the I-15 Freeway. Many of the future land uses in Planning Area 24 will be visible from the I-10 Freeway.
3. **Demographics.** While the recession that began in 2007 slowed population growth, strong population growth in the Inland Empire is expected over the next 10 years. The CHCCSP will help serve the resulting demand for new homes, retail, office, hospitality and business uses. Planning Area 24, with a total of 32.3 acres of contiguous land provides an opportunity to create the synergy between parcels and enable the development of a mix of uses including residential uses.

4. **Arrowhead Regional Medical Center.** The ARMC is located immediately west of Planning Area 24 and includes an area for the new CUSM building scheduled to open in Fall 2017. ARMC currently employs over 3,000 people and is projected to increase to 3,800 in the near future. This number of employees is expected to increase as the the federal Affordable Care Act is fully implemented. In addition, over 320,000 patient visits occur each year. Since no significant shopping, services or restaurants currently occur nearby to serve the hospital, many of the future uses in the CHCCSP, including Planning Area 24 are expected to benefit from close proximity to this major facility.
5. **Bus Rapid Transit.** The Compass Blueprint Study, prepared in 2007 by the Southern California Association of Governments (SCAG) identifies planned future bus rapid transit (BRT) routes in the Inland Empire. Two or more stops are planned within the Specific Plan boundaries. With more and more people seeking out ways to avoid using their vehicles to commute and the desire of many to be more environmentally conscious, options such as bus rapid transit will only enhance the desirability of the Specific Plan area for businesses and homebuyers.
6. **A Livable Community.** A growing desire for a high quality mixed use community in the western Inland Empire. In Planning Area 24 there is an opportunity to develop a mixed use area that includes opportunities for people to live, work and play without traveling far. The Master Plan shows connectivity between parcels, and pedestrian/bicycle circulation through the planning area and connecting to the ARMC, and other planning areas in the CHCCSP project area.

1.4 Community Planning and Design Principles

The CHCCSP identifies a number of Community Planning and Design Principles and/or Goals that are readily achievable as projects are developed in Planning Area 24. These include the following:

1. *Create a vibrant community with a rich diversity of uses.* For Planning Area 24, with its proximity to the ARMC and the future CUSM campus, uses may include professional and medical office space, related commercial uses (e.g. medical supply stores), other retail uses (small specialty shops, restaurants, etc), and housing. The introduction of the proposed Surgery Center on C Street, east of Meridian Avenue is an example of a new use related to the medical planning theme for the area that will generate new employees and visitors, and will likely foster the development of new uses in the planning area to support new employees and visitors.

1. INTRODUCTION

2. *Create a walkable community.* Proximity to the ARMC and future CUSM creates an opportunity for future land use in Planning Area 24 to cater to the ARMC employees and future faculty and staff of the CUSM. Site planning and landscape guidelines set forth in the CHCCSP for Office Space that are carried forward into this Master Plan include (1) linking office buildings together with pedestrian walkways; (2) where two or more buildings are located on one parcel, provide useable outdoor space including benches, tables and/or seat walls, and shade; (3) where possible, locate parking behind buildings; and (4) locate primary entries so they are visible from the street and accessible to pedestrian walks that link to other parts of the community. These and other guidelines are defined further in Chapter 4, and conceptually shown in Exhibit 5 which shows the connectivity between parcels within Planning Area 24 and also between Planning Area 24 and the ARMC site to the west. As shown, there will be pedestrian/bicycle access throughout the planning area and an access across Meridian Avenue to connect with the existing Plum Drive pedestrian access across the southerly portion of the ARMC site and ultimately to Pepper Avenue. This route would also connect Planning Area 24 with the new CUSM building.
3. *Provide High Quality Design Standards to Ensure a High Quality Community.* Design standards from the CHCCSP that would apply to projects in Planning Area 24 are included in the Master Plan in Chapter 4. Exhibit 10, *Design Guidelines – A*, Exhibit 11, *Design Guidelines –B*, and Exhibit 12, *Design Guidelines – C*, show examples of architecture and scale that the CHCCSP envisioned for proposed new uses in Planning Area 24. These are not set in stone, but are examples of the quality and style the City is interested in seeing as the planning area is developed.
4. *Promote Smart Transportation.* Omnitrans is planning to establish a Bus Rapid Transit (BRT) route along San Bernardino Avenue, Pepper Avenue and Valley Blvd with a terminus at Valley Blvd and Meridian Avenue (the southwest corner of Planning Area 24). This route is shown in the Circulation Plan for the area (Exhibit 6). A dedicated lane for the BRT along with prioritized signalization is proposed with an alternative for queue jumper lanes. These are special lanes that allow transit vehicles to bypass queues of vehicles at congestion points such as intersections. The future development of the parcel at Valley Blvd and Meridian Avenue will have to work with Omnitrans to determine how this affects any future proposal for that site, as Omnitrans has tentatively identified this site as a BRT terminus. For planning purposes, the Master Plan Site (Exhibit 5) shows a 30-foot wide

strip on the west side of that parcel to accommodate a future BRT terminus that will allow bus stacking out of travel lanes.

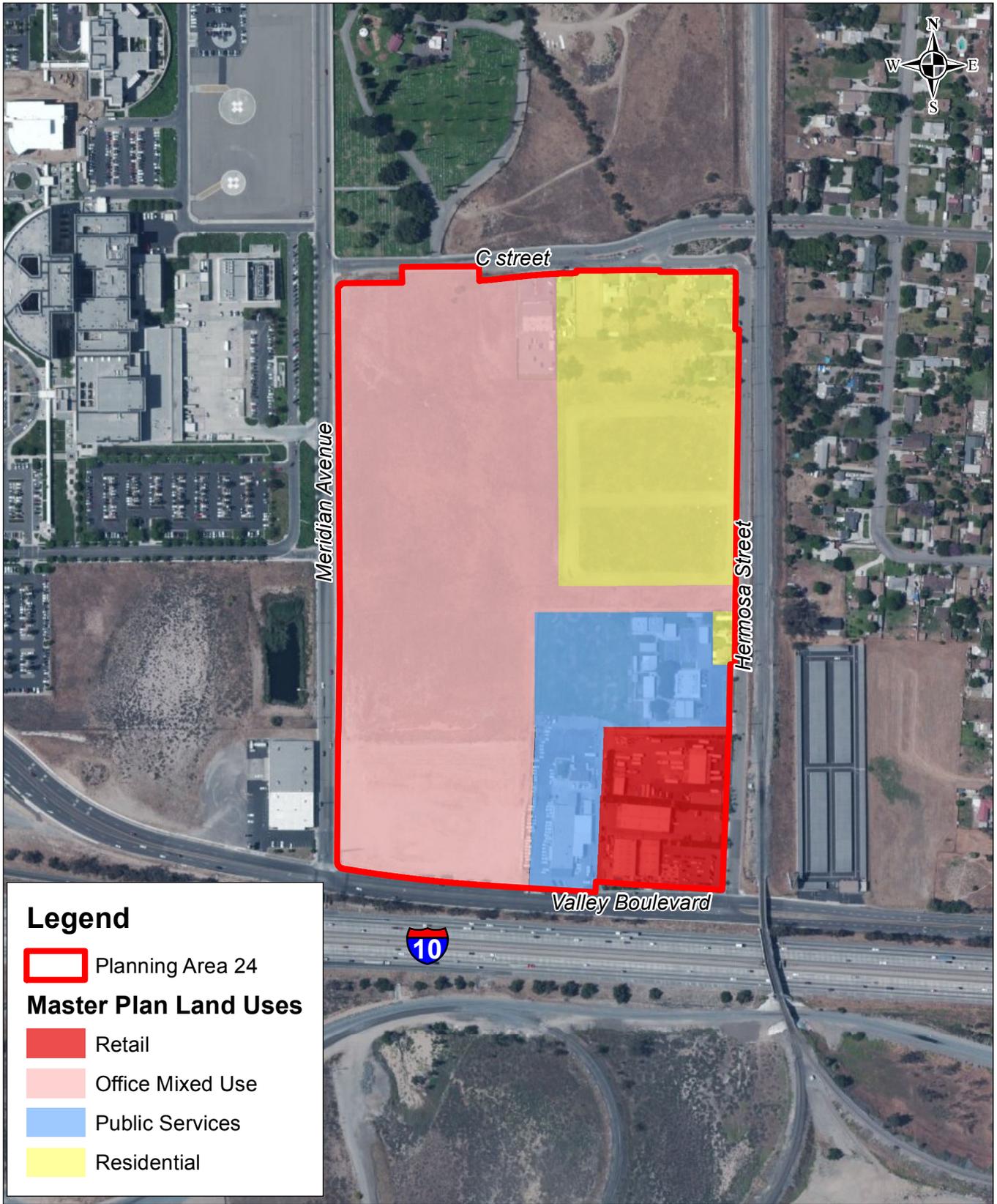
5. *Apply Crime Prevention Through Environmental Design.* All development proposals in Planning Area 24 would be coordinated with police, fire and other safety officials to ensure a safe community environment.
6. *Create a Prosperous Community with a High Quality of Life.* The mix of uses envisioned in Planning Area 24 would replace vacant land with a variety of related land uses proximate to the existing ARMC and future CUSM. The vision for most of the vacant parcel in the planning area is to develop complementary uses to the existing ARMC and future CUSM facilities, consisting of ancillary medical facilities, including medical office space and specialty medical supply stores, as well as other professional office and commercial retail to support existing land uses, employees and visitors. The proposed CUSM building at the ARMC site is Phase I of the development of that campus with future phases that may be developed in Planning Area 24. Part of a future CUSM Phase may include housing that would also be allowed in the RMU designated planning area. Housing related to the medical school and the ARMC employment base would afford students and employees to live close to school/work and take advantage of the pedestrian access between Planning Area and the ARMC site.

1.5 Findings

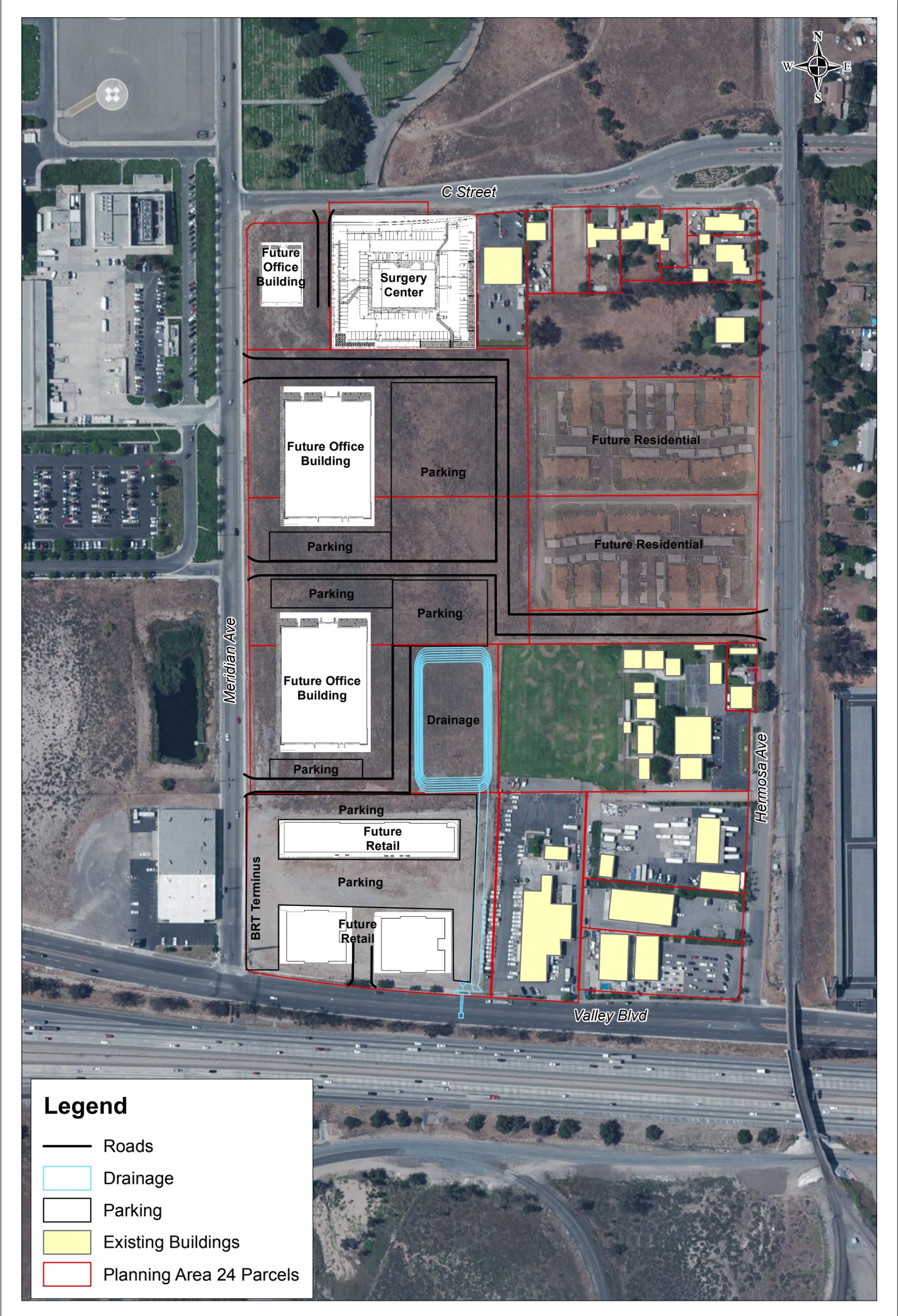
All project developments within Planning Area 24 shall satisfy the following CHCCSP findings:

1. *The project complies with all provisions of the Colton's Hub City Centre Specific Plan.*
2. *Areas intended for public use, such as public parks, recreational facilities and open space, are coordinated among neighborhoods and that the streetscape, landscape, hardscape and public amenities are mutually compatible.*
3. *Development proposals comply with the applicable community design guidelines of Planning Area 24, any applicable subsequent design guidelines and is compatible with surrounding areas, including, but not limited to building design and placement, colors, materials, height, and massing.*
4. *Consideration and application of public safety and security are incorporated into the project design.*
5. *Sustainability and conservation of resources are adequately addressed.*

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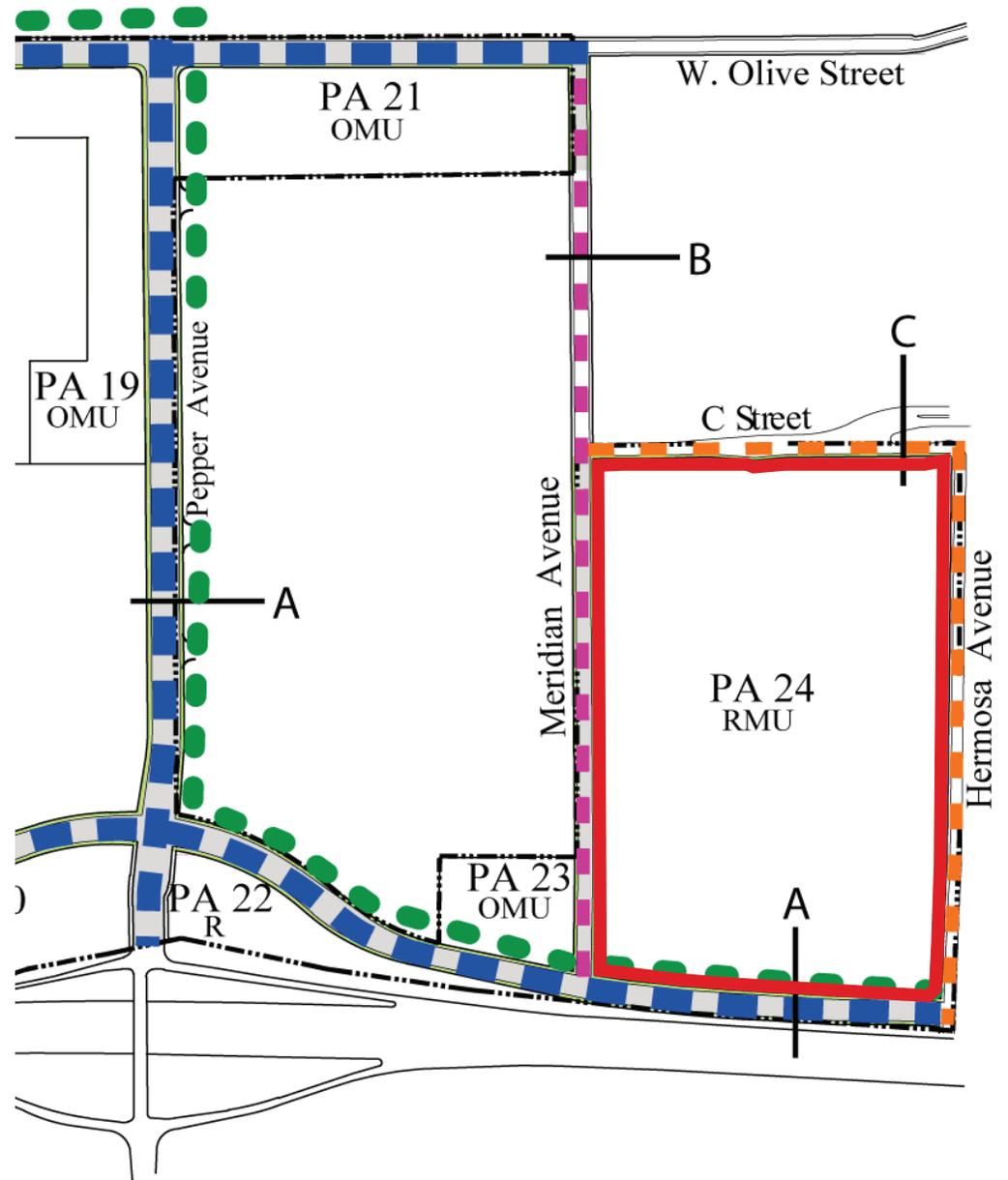


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LEGEND:

-  A Major Arterial - 6 lanes divided
-  B Collector Road - 4 lanes
-  C Local Road - 2 lanes
-  BRT 'Holt Line'
-  Master Plan Area



Circulation Plan
Planning Area 24 Master Plan

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SUBAREA 3-5 →

LEGEND:

-  EXISTING STORM DRAIN LINE
-  FUTURE STORM DRAIN LINE
-  Master Plan Area



Storm Drain Master Plan Planning Area 24 Master Plan

Exhibit
7

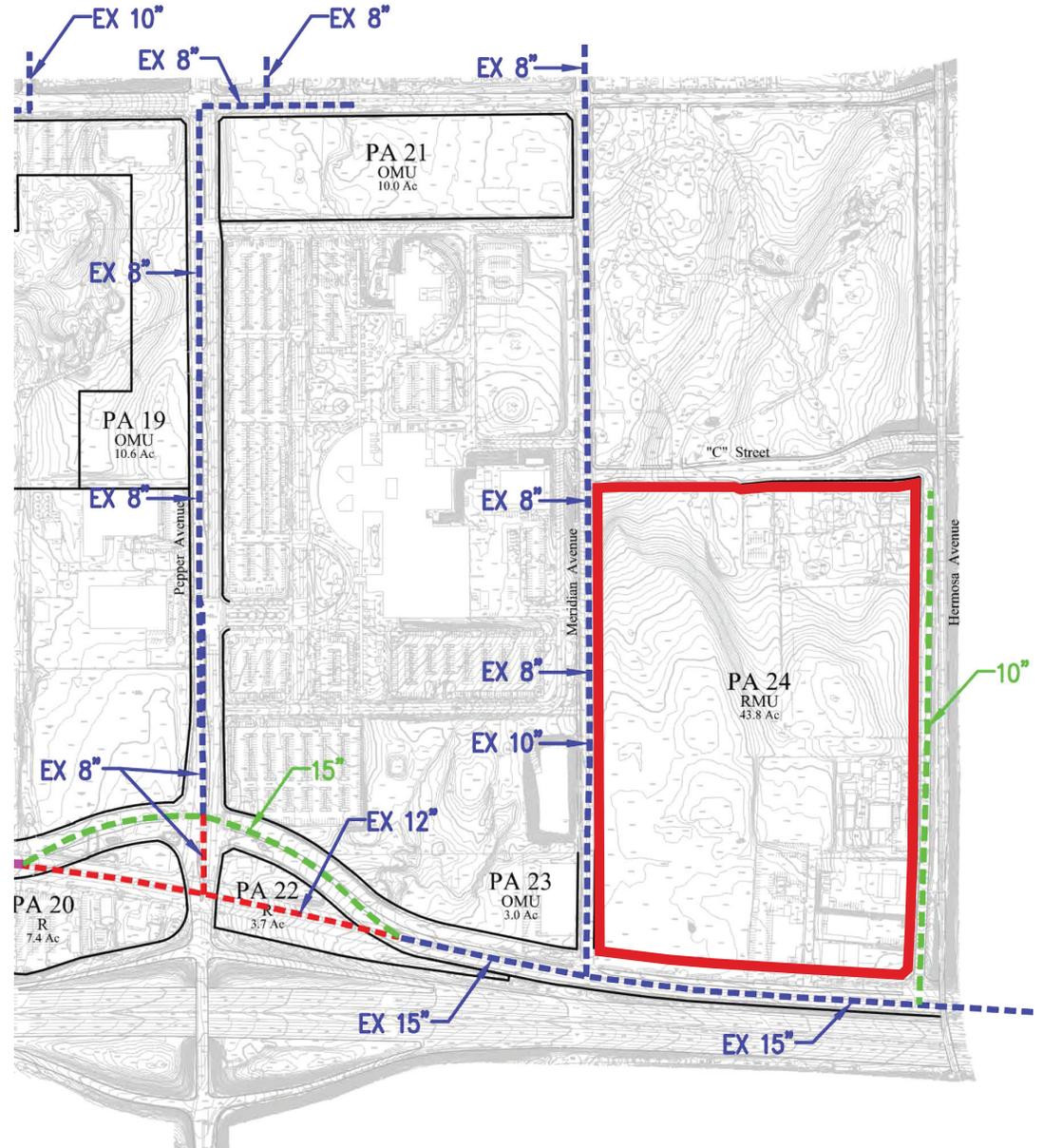
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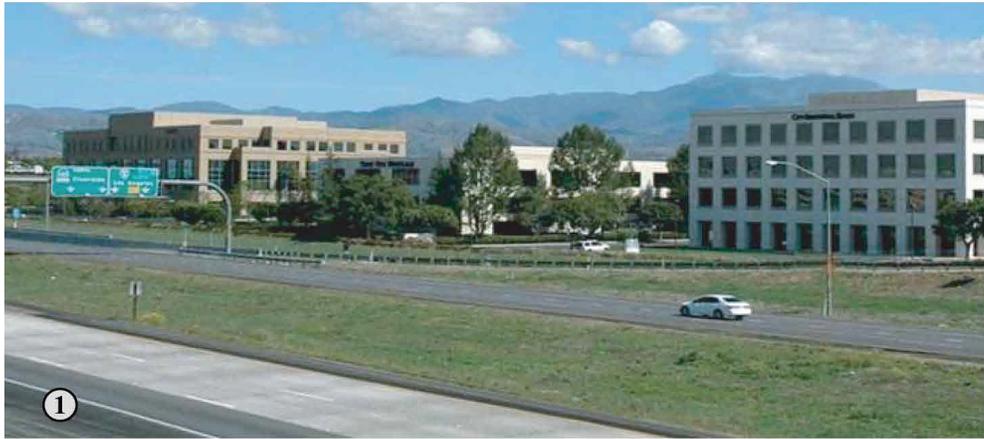


LEGEND:

-  EXISTING SEWER LINE
-  FUTURE SEWER LINE
-  REMOVE EX. SEWER LINE
-  EX. 8" SEWER LINE TO ABANDONED & REPLACED BY FUTURE 8" SEWER LINE
-  EX. 12" SEWER LINE TO ABANDONED & REPLACED BY FUTURE 15" SEWER LINE
-  Master Plan Area



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1. Along the I-10 Freeway, create a prominent, professional design to encompass retail mixed uses along Valley Boulevard between Hermosa and Meridian Avenues.

2. Three examples are shown of the high quality 3 to 5 story retail mixed use building designs. Primary entries are clearly articulated with an arch or other prominent element. Vertical and horizontal changes shall be incorporated into the design with a non-two dimensional building plane and by providing window forms and placement to create interest.

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1. For projects with more than one building, provide tree shaded courtyards, patios, and / or plaza forecourts for use by employees and visitors.

Note: At the discretion of the Development Services Director, trees may be replaced with shade structures.

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Each of the examples shown represents 1 and 2 story quality retail mixed-use designs. Entries to buildings are identified with a prominent architectural element, color accents on building planes and with window trim that is well coordinated with cornices and moldings to provide additional interest.

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1.6 Discretionary Actions

1.6.1 Development Review Process

Submittal of Tentative Tract Maps, Parcel Maps and Site Plans or other applications for development within Planning Area 24 shall be submitted to the Development Services Director or his/her designee, or as otherwise determined by the Director, for review and processing for all projects. They shall be reviewed by City staff for consistency with the Master Plan and all other provisions set forth in this document.

All projects in Planning Area 24 are required to be reviewed and approved (or recommended for approval to Planning Commission) by the Development Services Director or his/her designee. The CHCCSP Design Guidelines shall be referred to when reviewing each proposal for conformance with the overall community design objectives. In addition to any standard City requirement for Site Plan or Design Review submittals, the following areas shall be addressed in any applicant's submittal.

1.6.1.1 Site Planning / Landscape

1. Building orientation / placement
2. Garage design and placement
3. Access and circulation
4. Parking areas
5. Site planning and design
6. Landscaping, private parks and open space as appropriate
7. Landscaping theme for project and for development edge
8. Plant materials that are drought tolerant
9. Fencing /screening / buffering
10. Perimeter and interior walls and fencing
11. Lighting for buildings, streets, alleys, parks or other common areas
12. Utilities and ancillary equipment
13. Fire safety access
14. Pedestrian connections
15. Streetscape design
16. Entry treatments

1.6.1.2 *Building Design*

1. Architectural styles for residential (i.e., Monterey, Craftsman, etc.)
2. Architecture design and styles for commercial uses e.g., Retail, Office, Business Park, Hospitality
3. Preliminary design including elevations of all four sides of buildings
4. Building massing, form and scale
5. Roof pitch
6. Windows and doors
7. Materials and colors
8. Signage consistent with the overall community character
9. Equipment screening

1.6.2 Master Plan Consistency

Following approval of a Site Plan, Tract Map or other application for development within the Master Plan project area, if any changes are proposed regarding the location or alteration of any use, boundary, structures or other substantive change shown on an approved Plan, a revised Plan shall be submitted to the Development Services Director or his/her designee, for approval. If the Development Services Director or his/her designee determines that the proposed revision is in substantial conformance and complies with the provisions set forth within the Master Plan document and the general intent of the approved Plan, the revised Plan may be approved without resubmittal through the approval process described in the Section 7.3.3 of the CHCCSP. Such decision shall be posted by the City and be final unless appealed to the City Council within ten (10) days from the date of such posting.

Chapter 2 Development Plans

There is currently one pending development plan in Planning Area 24, the Surgery Center building, a three-story, 30,645 square foot building on a 2.18-acre site near the northwest corner of Meridian Avenue and C Street. There are currently no other development plans proposed in the planning area. However, plans for future development will be required to comply with applicable design guidelines and development standards set forth in the CHCCSP.

2.1 Land Use Plan

As shown in Exhibit 2, the CHCCSP designates Planning 24 as Retail Mixed Use (RMU). This land use permits office and retail uses and is expected to host a variety of development catered toward medical and retail assistance to ARMC staff and patients. In addition, all provisions included in principal permitted uses, accessory permitted uses, and conditionally permitted uses within the Retail (R) and Office Mixed Use (OMU) land use districts are applicable to RMU land use district. Residential attached dwelling units above office or retail uses are conditionally permitted uses in the OMU district. In addition, at the discretion of the Planning Commission, other conditionally permitted uses may be permitted if they are found to be substantially compatible with principal permitted uses. Therefore, provisions are made for residential uses to be allowed in Planning Area 24.

Exhibit 5 provides a graphic representation of what the planning area may look like in the future given the constraints associated with sites that are already developed, and the requirement for retention of storm flows within the planning area. Existing land uses are shown where they occur. Table 1, on page 1-3, lists existing conditions by parcel.

2.2 Conceptual Circulation Plan

Exhibit 6 shows the roadway network in the easterly portion of the CHCCSP project area between Pepper Avenue and Hermosa Avenue. Planning Area 24 is already served by existing streets including Valley Blvd and Meridian Avenue; two major roads. To accommodate future development within Planning Area 24, new development will be required to connect to existing streets, as well as interconnecting between parcels within the planning area to foster the flow of vehicles as well as pedestrian/bicycle traffic.

Meridian Avenue is identified in the City's Circulation Element as a four-lane collector road and C Street and Hermosa Road is proposed to be widened to a two-lane local road. However,

Meridian Avenue will require further review at the time of a development proposal to determine if widening the street is feasible due to existing physical constraints on the right-of-way. In addition, all new development will be required to provide six foot wide sidewalks on both sides of the street to accommodate pedestrian circulation. Furthermore, an eight foot wide Class I Bikeway will be located along Valley Boulevard along the southern end of Planning Area 24 to provide additional opportunities to use alternative transportation to get around the area.

2.3 Conceptual Drainage Plan

Exhibit 7 shows existing and proposed conditions in the CHCCSP project area. For Planning Area 24, there are existing storm drains in Meridian Avenue and Valley Blvd. Under existing Conditions, Planning Area 24 drains generally south, towards Valley Blvd to the previously constructed 108-inch storm drain pipe at Meridian Avenue and Valley Blvd in Master Plan Drainage Area 3-5.

The master planned drainage facilities for CHCCSP are designed to carry various design flows. Planning Area 24 will be required to convey safely the 100-year storm event for the developed condition. In order to minimize deficiencies in the existing drainage system, individual developments for Planning Area 24 will be responsible for detaining all stormwater in excess of the sites existing peak runoff. Furthermore, a more detailed analysis of the size and location of the storm drain system will be required as part of the final design for each development application within Planning Area 24. The storm drain pipe size will then be refined to meet the requirements of the City of Colton based on the proposed land use.

As an alternative to each site providing its own retention on site, Exhibit 6 shows a detention system that could accommodate drainage within the planning area. This system would require the cooperation of all property owners to develop and maintain.

2.4 Conceptual Water Plan

The City of Colton would be the provider for water services for Planning Area 24, which provides water service to the area east of Pepper Avenue. The conceptual Master Water Plan shown in Exhibit 8 depicts the existing and proposed location and sizes of the water distribution system surrounding Planning Area 24. A more detailed analysis of the size, location and capacity of existing facilities of the water distribution system will be required as part of the final design for each project development within Planning Area 24. The water pipe size will then be refined to meet the minimum requirements of the City of Colton based on the proposed land use.

2.5 Conceptual Sewer Plan

The City of Colton owns, operates and maintains a wastewater collection, pumping and treatment system and will be providing the wastewater collection for the proposed CHCCSP area. The City is also responsible for the construction and on-going maintenance of the wastewater collection system within the City limits. The conceptual Master Sewer Plan shown in Figure 10 depicts the existing and proposed location and sizes of the wastewater collection system for Planning Area 24. An existing 8-inch sewer line runs north-south in Meridian Avenue which then transitions to a 10-inch line near Valley Blvd. A 10-inch sewer line is proposed to run southward along Hermosa Street from C-Street to a connection point with an existing 15-inch sewer line on Valley Boulevard. The proposed sewer pipes within the CHCCSP area (including Hermosa Street) are designed to fall within the proposed dedicated street rights-of-way; no additional rights-of-way are required to provide sewage collection within the CHCCSP area. Nonetheless, a more detailed analysis of the size and location of the wastewater collection systems for the proposed Surgery Center facility and for future projects within Planning Area 24 will be required as part of the final design for each project development. Once all of this information is provided and deemed conclusive, the sewer pipe size will then be refined to meet the requirements of the City of Colton based on the proposed land use.

2.6 Conceptual Grading Plan

All grading shall be done under the jurisdiction of the latest edition of the California Building Code (CBC), and the City of Colton Building and Safety and Engineering Divisions. The Grading Plan for CHCCSP has been designed to accommodate drainage and a street system that meets city standards for acceptable infrastructure grades. A more detailed analysis with a project site grading plan will be required as part of the final design for each project within Planning Area 24. The grading and earthwork volumes will then be refined to meet the requirements of the City of Colton based on the proposed land use.

2.7 Conceptual Utility Plan

The electric, telephone, gas and cable television utilities providers are as follows. Each utility will be connected at the most convenient existing locations within Planning Area 24 and extended through the site during the phased construction of the project.

- A. Electrical Service: For electrical service, the CHCCSP is served by Colton Electric. Address is 150 S. 10th Street, Colton, CA 92324; (909) 370-5104.

- B. Natural Gas Service: For gas service, the CHCCSP area is served by The Gas Company. Address is 1981 W. Lugonia Avenue, Redlands, CA 92374; (909) 335-3919.
- C. Telephone Service: For telephone service, the CHCCSP area is served by Verizon. Address is 1400 E. Phillips Boulevard, Pomona, CA 91766; (909) 469-6343.
- D. Cable Television Service: For cable television service, the CHCCSP area is served by Time Warner Cable, South Division; (888) TW-CABLE.

2.8 Public Safety Services

The following information provides a summary of the community services to be provided the Planning Area 24 Master Plan.

2.8.1 Police and Fire Protection

The Colton Police Department provides law enforcement for the City and will be responsible for servicing Planning Area 24 Master Plan. Colton's current standard is a ratio of one sworn police officer per 1,000 residents. The police station is located at 650 N. La Cadena Drive in Colton. Additional sworn police offices will be required to support the development at this same ratio. A sub-station will be required for the project within the future retail center within Planning Area 16, or for a different location if deemed acceptable to the Police Department. Nonetheless, the proposed Surgery Center facility and all future developments proposed within Planning Area 24 will be required to pay their fair share of development impact fees in order to support adequate Police protection services for the City.

The City of Colton Fire Department provides fire protection and provides paramedic services to Planning Area 24. The closest station is Fire Station # 212, which is approximately one mile away, located on 1511 N. Rancho Avenue, northeast of the project. The response time from Fire Station is approximately six minutes to the project area.

While no fire station is required for the CHCCSP area, the current Fire Station #212 may need to be upgraded or relocated to better serve new development within CHCCSP. Therefore, prior to approval of each application, the applicant(s) within Planning Area 24 will be required to work together with the Fire Department to address their needs.

Chapter 3 Development Standards

3.1 Retail Mixed Use (RMU)

RMU includes all permitted uses, conditionally permitted uses and accessory uses for Retail (R) and Office Mixed Use (OMU) (and Business Park, provided, the project is a point of sale operation). The intent is to expand the vitality of the commercial retail hub within the Planning Area 24 Master Plan.

3.1.1 Permitted Uses

All provisions included in principal permitted uses, accessory permitted uses, and conditionally permitted uses within the Retail (R) and Office Mixed Use (OMU) are applicable to RMU. All development regulations of the respective land use shall apply, e.g., for any office use, all OMU development regulations apply, and for retail, hospitality and entertainment uses, all Retail (R) development standards shall apply. All uses permitted in Business Park (BP) shall also be permitted providing the business is a point of sale operation. A point of sale operation is defined as any business whose primary purpose is to sell merchandise, as opposed to operating principally to provide services and other functions. All BP development regulations shall apply for this land use.

General retail, hospitality and entertainment uses are applicable to the RMU designation within Planning Area 24. The intent is to create a vibrant commercial retail hub. For land uses permitted and development standards, please refer to Sections 4.2.1 thru 4.2.4 from the CHCCSP.

Chapter 4 Design Guidelines

4.1 Purpose and Intent

Planning 24 Master Plan Design Guidelines provide standards and guidelines for all major community design elements: site planning, architecture, monumentation, landscape, signage, lighting and other improvements in order to implement the Project Goals and Findings as discussed in Section 1.6. There are no Retail Guidelines included in the Master Plan, as they only apply to planning areas along Pepper Avenue (Main Street) in planning areas 16, 20 and 22. In addition there are no specific RMU Design Guidelines in the CHCCSP. Therefore, only the OMU Design Guidelines are included here for OMU and RMU land uses.

3. DESIGN GUIDELINES

Sketches, exhibits and representative project photographs are intended as visual aids in conveying basic design intent. They are provided as a “palette” of design elements to guide the design of the various sites but are not intended to be interpreted literally or to depict any actual lot or building design. Architects, engineers, landscape architects, developers, builders and others involved with project design of each individual parcel of Planning Area 24 are encouraged to use creativity and imagination in developing their precise design proposals and to build upon these guidelines. Refer also to Master Plan Section 3, *Development Standards*, for both the Retail and OMU land use development standards.

All project applications submitted for development within Planning Area 24 shall be in substantial conformance with these guidelines. As used in this section, “shall” indicates a requirement and “should” indicates a guideline that is strongly recommended and is subject to discretion by the Development Services Director or his/her designee and / or Planning Commission during the development application review process.

4.2 Design Guideline Objectives

The primary objectives of these Guidelines are to:

1. Provide guidance and criteria to City staff, the Planning Commission and City Council in the review of future development applications within Planning Area 24.
2. Implement the Vision, Goals and Objectives and Findings identified in Section 1.7 thru 1.9, including the following:
 - Establish design elements that create a village environment.
 - Establish and encourage pedestrian connectivity among various land uses.
 - Provide emphasis on the pedestrian and pedestrian scaled design elements.
 - Create a community design that will add value for property owners, future residents, businesses, and the City as a whole.

4.3 Architectural Design Guidelines

The RMU designation for Planning Area 24 is considered similar to that of the OMU designation as the OMU design guidelines are also intended for all land uses which permit RMU areas. Since the Planning Area 24 Master Plan incorporates these guidelines, it is a primary goal for office and retail mixed use building areas to create an office/retail park setting that will allow unique designs for individual parcels while at the same time establishing unifying elements that complement the overall community. Additional goals include: 1) creating an office/retail park with quality

buildings and landscape that over time will mature into a campus style setting that will enhance the village character of the community; 2) providing pedestrian and vehicular connectivity to the community; and 3) accommodating the needs for functionality in order to be responsive to a broad cross-section of office/retail park developers and tenants.

Refer to the sketches, plans and photographs in Exhibits 10 through 12.

4.4 Planning Area 24 - Site Planning and Landscape Guidelines

1. In order to create an office/retail park campus atmosphere along Valley Boulevard, locate parking areas on the rear or side areas so only landscaping and walkways will occur between the boulevard and building.
2. In order to facilitate location of the entry and to enhance the architecture, identify primary entries to buildings with a prominent element such as an architectural canopy, marbled wall entrance, a deep building recess or other similar element.
3. Link office buildings together with pedestrian walkways. Also, to encourage walking in the community, link office buildings to public sidewalks within the nearest street public right-of-way.
4. Where two or more buildings are located on one lot, provide an outdoor courtyard, plaza or other useable space. Include benches, tables, and / or seat walls plus shade trees.
5. Where parking occurs adjacent to a building, provide a minimum of eight and one half (8.5') feet of perimeter landscape. Include trees, shrubs and ground covers in these landscape areas. Whether trees are equally spaced or in groupings, an average spacing of thirty-five feet (35') is recommended. The following minimum tree sizes apply for all development: 5 percent - 36 " box, 15 percent - 24" box and 80 percent -15-gallon.
6. Enhance parking areas with canopy type shade trees.
7. Screen all parking areas from public view through use of landscaped berms, low masonry walls and/ or hedges.
8. Enhance a minimum of one primary vehicular entry area with special paving. Examples of enhanced paving include colored concrete with decorative score lines, colored stamped concrete or stamped AC paving, brick, masonry or other similar materials.
9. Loading docks and service areas shall be to rear of buildings and screened from public view.
10. Locate refuse bins and their enclosures behind buildings and screened with walls and landscape. Provide a planting area around trash enclosures and plant vines along walls.

11. Provide well lit parking areas and parking lots, including cross walks in accordance with City requirements.
12. Design all ingress and egress into office uses to minimize impacts on the surrounding uses while permitting ease of access.
13. Provide accent tree planting at all vehicular access points into the site, except service access points.

4.5 Planning Area 24 Architecture Guidelines

1. For all office/retail buildings, consider the characteristics of the site and relate designs to the surrounding built environment in scale and character.
2. Coordinate colors, materials and finishes on all exterior elevations of all buildings to achieve continuity of design. Earth tones are encouraged, consistent with the examples shown in Figures 9 through 11. Avoid bright orange, pink or other intense colors. Materials may be concrete, stone, brick. In the event stone, brick or other similar material is used, manufactured / cultured stone materials shall be permitted. Such materials shall be of high quality and durability.
3. Locate primary entries so they are visible from a public street and accessible to pedestrian walks that link to other parts of the community.
4. Provide an architectural element at primary entries such as an arch, canopy or other similar element to facilitate locating building entries and to create a sense of entry.
5. Incorporating architectural moldings along the roof line of buildings is recommended to occur on buildings to add interest and to create an overall unifying theme to the community.
6. A variety of roof forms are permitted with the office uses. Gable, hip and flat roofs are all acceptable. Flat roofs should be accented or hidden by a parapet wall. Whichever roof form is selected, all roof top equipment shall be screened with a wall material and color complementary to the building material.
7. Refer to Figures 9 through 11 for additional guidelines. The descriptions provided with each Figure are intended to identify major design elements that are recommended for all office/retail buildings located along key intersections of Meridian Avenue and Valley Boulevard and Meridian Avenue and C-Street.

4.6 Outdoor Lighting Guidelines

All development within Planning Area 24, shall have uniform lighting standards with regard to style, materials, and colors in order to ensure a consistent and unified design. Lighting within the RMU designation for Planning Area 24, shall create a unified theme. Exhibit 13, *Outdoor Lighting Guidelines*, provides examples of lighting fixtures that establish an overall hierarchy and visual palette that is consistent with the design theme of the CHCCSP project area.

All lighting fixtures within Planning Area 24 shall comply with the following regulations and provisions:

1. All outdoor lighting, including spotlights, floodlights, electrical reflectors, and other means of illumination for signs, structures, landscaping, parking, loading, unloading and similar areas shall be focused, directed, and arranged to minimize or adjoining property.
2. Lights shall be break resistant plastic, recessed, or otherwise designed to reduce the problems associated with damage and replacement of fixtures. Fixtures shall be vandal proof.
3. Neon and similar types of lighting are prohibited in all areas except in Retail areas in conjunction with the entertainment center unless otherwise approved by the Planning Commission.
4. Entry monuments should be creatively lit to develop a sense of place and arrival.
5. All exterior lighting designs shall address safety and security. Parking lots and commercial/office building entrances shall be well lighted for security reasons to a minimum average of one footcandle, unless otherwise approved by the police department.
6. All exterior lights should be shielded where feasible and focused to minimize spill light into the night sky or adjacent properties.
7. No freestanding lighting fixtures shall exceed forty feet (40') in height, unless approved by the Development Services Director or his/her designee.
8. Service area lighting shall be contained within the service yard boundaries and enclosure walls.
9. All electrical meter pedestals and light switch / control equipment shall be located with minimum public visibility if possible or shall be screened with appropriate plant materials.
10. The level of on-site lighting as well as lighting fixtures shall comply with any and all applicable illumination requirements and policies of the City of Colton. Energy conservation including use of LED lighting systems should be emphasized when designing any light system.

11. All community landscape common areas, private facilities, streetscapes, and other use areas may contain accent or other night lighting elements subject to approval of the Development Services Director or his/her designee.
12. Pedestrian corridors shall be lit to ensure safe walking environments throughout the project area.

4.7 Signage Guidelines

A comprehensive sign program will assure that signage within Planning Area 24 are integrated into the overall community vision and theme.

4.7.1 Purpose and Intent

The purpose and intent of the sign regulations for Planning Area 24 are the same as those identified in the current City Sign Ordinance (Title 18, Chapter 1850).

1. Promote an economically stable and visually attractive community and ensure that the special character and image the City is striving for can be attained.
2. Promote signs and graphics that are attractive, pleasing and harmonized with the physical character of the environment and surrounding properties, while serving the advertising needs of the business community;
3. Promote traffic safety and the smooth and efficient flow of pedestrians and vehicles to their destinations;
4. Direct persons to various activities and enterprises, in order to provide for maximum public convenience.

4.7.2 Authority and Requirements

The sign standards that follow shall apply to all properties located within Planning Area 24. The City of Colton Zoning Ordinance, Title 18, Chapter 1850, of the Municipal Code, shall prevail for this section, except as otherwise indicated in the standards that follow. The changes that have been incorporated and modify the current City Ordinance are based on tailoring the signage needs to PA 24, which as a Master Plan has certain unique signage requirements. If there is a discrepancy between the City Zoning Ordinance and PA 24, then PA 24 shall take precedence. A sign permit shall be obtained from the City prior to the construction or installation of all permanent and temporary signs within the PA 24.

4.7.3 Design Standards for Signage

The design standards set forth in this section shall be adhered to for all signage within Planning Area 24 Master Plan.

4.7.4 Community Monument Signs

A community monument sign as illustrated in Exhibit 14, *Entry Monument Guidelines*, will establish an identity for the primary entry into Planning Area 24 at the northeast corner of Meridian Avenue and Valley Blvd.

4.7.5 Commercial Parcel Area Signs

Within commercial (non-residential) areas of Planning Area 24, additional monument signs are permitted for identification of different office and retail centers. It is in the interest of both aesthetics and traffic safety that sign information is kept to a minimum. Only the name of the businesses and / or the name of the shopping center shall appear on the sign. The use of subordinate information such as telephone numbers, lists of products, pictures of products, etc., is not permitted.

Each sign shall be designed with the intent and purpose of relating to the architectural style of the main building or buildings within Planning Area 24. The sign shall also be compatible with the style or character of signage and development in adjacent planning areas if said signage was approved following adoption of the CHCCSP. Signs located within parcels that are adjacent to predominantly residential areas along Hermosa Avenue shall consider compatibility with this residential area.

Where there is more than one monument sign located within any planning area, all such signs shall follow the uniform design standards described in the City Zoning Ordinance, Chapter 18.50, and shall have designs which are well related to each other by the similar treatment including the following six design elements:

1. Type of construction materials as used in the several sign components, such as cabinet, sign copy, supports.
2. Letter style of sign copy.
3. Illumination.
4. Type or method used for supports, uprights or structure on which sign is supported.
5. Sign cabinet or other configuration of sign area.
6. Shape of entire sign and its several components.

3. DESIGN GUIDELINES

Each monument sign shall be located in a planted, landscaped area which is of a shape, design and size that will provide a compatible setting and ground definition to the sign, as determined by the Development Services Director or his/her designee. The planted landscaped area shall be maintained on a reasonable and regular basis. Monument signs shall be non-moving stationary structures. In all components and illumination (if any) shall be maintained by artificial light (either internally or externally) which is stationary and constant in intensity and color at all times (nonflashing).

All retail and office uses within Planning Area 24 shall be considered non-residential property as related to the City Sign Code.

A uniform sign program for all new multi-tenant developments of three or more separate tenants is required for all Retail and Office uses if proposed within Planning Area 24.

The maximum height of a free standing monument for office uses within Planning Area 24 shall be six feet high (6') and eight feet (8') wide. For retail uses less than twenty (20) acres in size, the maximum height shall be six feet (6') high and twelve feet (12') wide.

For retail uses twenty (20) acres or greater, the maximum monument sign height shall be twenty feet (20') high and fifteen feet (15') wide, similar to dimensions of the sign in the example above on the previous page.

Pylon / freeway signs shall be permitted to exceed fifty feet (50') in height if approved by the City Planning Commission.

4.7.6 Temporary Off-Site (Kiosk)

All temporary off-site signs shall be provided in conjunction with a uniform sign program as administered by a company that provides off-site signage and is approved by the City pursuant to the City Zoning Ordinance Section 18.50.120.

4.7.7 Wall Murals

Wall murals may be permitted in any retail planning area subject to the following conditions:

1. Wall murals shall be installed directly on a building wall.
2. There shall be no projection of the wall mural in any direction from the surface of the structure exceeding three (3) inches, except for a frame around the mural.
3. The property owner shall give his written consent to erect and further shall agree to properly maintain and remove that mural in accordance with conditions established by the Planning Commission.

4. Wall murals shall be approved by the Planning Commission subject to:
 - a. Conceptual compatibility of the design with the immediate environment of the site.
 - b. Appropriateness of the design and size to the function of the site.
 - c. Compatibility of the design and location within a unified design theme.
 - d. Appropriateness of the design as a public work of art. The design may portray, but not be limited to, a cultural, historical or scenic subject.

The Planning Commission shall establish a maximum time period for the existence of a wall mural. The Planning Commission may establish such further conditions, as it deems appropriate upon approval of an application for a wall mural. All applications for murals as specified shall be made on a scale rendering and / or scale model.

4.7.8 Landscape Design Guidelines

The quality and long-term appearance for all landscaped areas will depend on many factors including the initial selection of the plant materials, soil preparation and installation, irrigation management and care and maintenance. These guidelines apply to all public or private common areas that will be maintained by a landscape maintenance district, homeowners associations, or similar entity. Exhibit 15, *Streetscape Master Plan*, shows the general location and plant material that should be developed along the planning area's exterior roadways.

4.7.9 General Landscape Requirements

1. All areas required to be landscaped should be planted with turf, groundcover, shrub and / or trees selected from the plant palette contained in these guidelines or as supplemented by the City of Colton Development Services Director or his/her designee. In general, the plant materials designs should provide a layered appearance, with lower growing plants in the foreground and larger growing plants in the background.
2. Cut slopes equal to or greater than eight feet (8') in vertical height and fill slopes equal to or greater than five feet (5) in vertical height shall be planted with a ground cover to protect the slope from erosion and instability. Slopes exceeding fifteen feet (15') in vertical height shall be planted with shrubs spaced not more than ten feet (10') average on center, or trees spaced not to exceed thirty feet (30') average on center, or a combination of shrubs and trees at equivalent spacing, in addition to the groundcover. The plants selected and planting methods shall be suitable for the soil and climatic conditions.
3. Reference should be made to the City of Colton Standards for erosion control methods for slopes and other landscaped areas.

4. All landscaping is required to comply with the City's Water Efficient Landscape Ordinance (WELO) and any subsequent amendments thereto. For any inconsistencies between the Specific Plan standards and the WELO, the WELO shall apply.

4.7.10 Climate

The Plant material palette has been selected based on compatibility with the climatic conditions among other considerations discussed below.

4.7.11 Horticultural Soils Test Requirements

Soil characteristics within the site may be variable. The developers / builders for parcels that require landscape development within public areas shall procure a horticultural soils report in order to determine proper planting and maintenance recommendations for proposed plant materials. Soils testing shall be performed by a qualified agricultural laboratory and shall include a soil fertility and agricultural suitability analysis with pre-planting and post-planting recommendations.

4.7.12 Invasive Species

Non-native invasive plant species shall not be used in landscape plans.

4.7.13 Plant Pest and Disease Control

Diseases and pests can have deleterious affects on one or many plants, whether native or ornamental in origin. Recent pest and disease problems include oleander scorch blight and several eucalyptus problems, requiring that these specific varieties should be avoided. Other plants that today are without known problems may develop problems in the future. While there is no way to predict the occurrence of new pests or diseases there are useful methods to limit the impact of outbreaks and should be incorporated into final design plans for each project.

These include the following:

1. Maintain optimum plant health through soil preparation, water management, and nutrient monitoring.
2. Review community plant material on a regular basis to observe health problems due to disease or pest infestation and take appropriate action.
3. Place plant material in appropriate planting areas and provide proper spacing consistent with the requirements of the plant species.

4. Place plants in similar hydro zone grouping to maximize efficient water use.

4.7.14 Plant Palette

The plant palette lists are presented in Table 9, *Tree Species List*, Table 10, *Groundcover Species List*, Table 11, *Shrub Species List*, and Table 12, *Vine Species List*. The plant palette was selected to be applicable with the Water Efficient Landscape Ordinance and to create a unified and cohesive design theme for the community. Plants have also been selected for their appropriateness to climatic conditions, soil conditions, concern for maintenance and water conservation and for applicability with the City's Water Efficient Landscape Ordinance (WELO). All landscaping is required to comply with the City's Water Efficient Landscape Ordinance (WELO) and any subsequent amendments thereto. For any inconsistencies between the Specific Plan standards and the WELO, the WELO shall apply.

Plant selections should take into consideration grouping of plants with similar cultural requirements in order to minimize water use and to provide conditions where plant material will thrive.

In the streetscape sections of the design guidelines (discussed in Section 4.12 below), specific trees have been identified. In those cases, the intent is to illustrate the intended form and character that fulfills the design intent (i.e., evergreen versus deciduous, upright or vertical in form versus dome shaped). Should alternate selections be desired for any given street subject to approval by the Development Services Director or his/her designee, they should reflect the same form and character as those included in the streetscape sections. If alternates are selected for a particular street, the change shall apply to the entire streetscape for the area the change occurs and shall be approved by the Development Services Director or his/her designee.

3. DESIGN GUIDELINES

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Residential Streets



Retail



Parking Lots

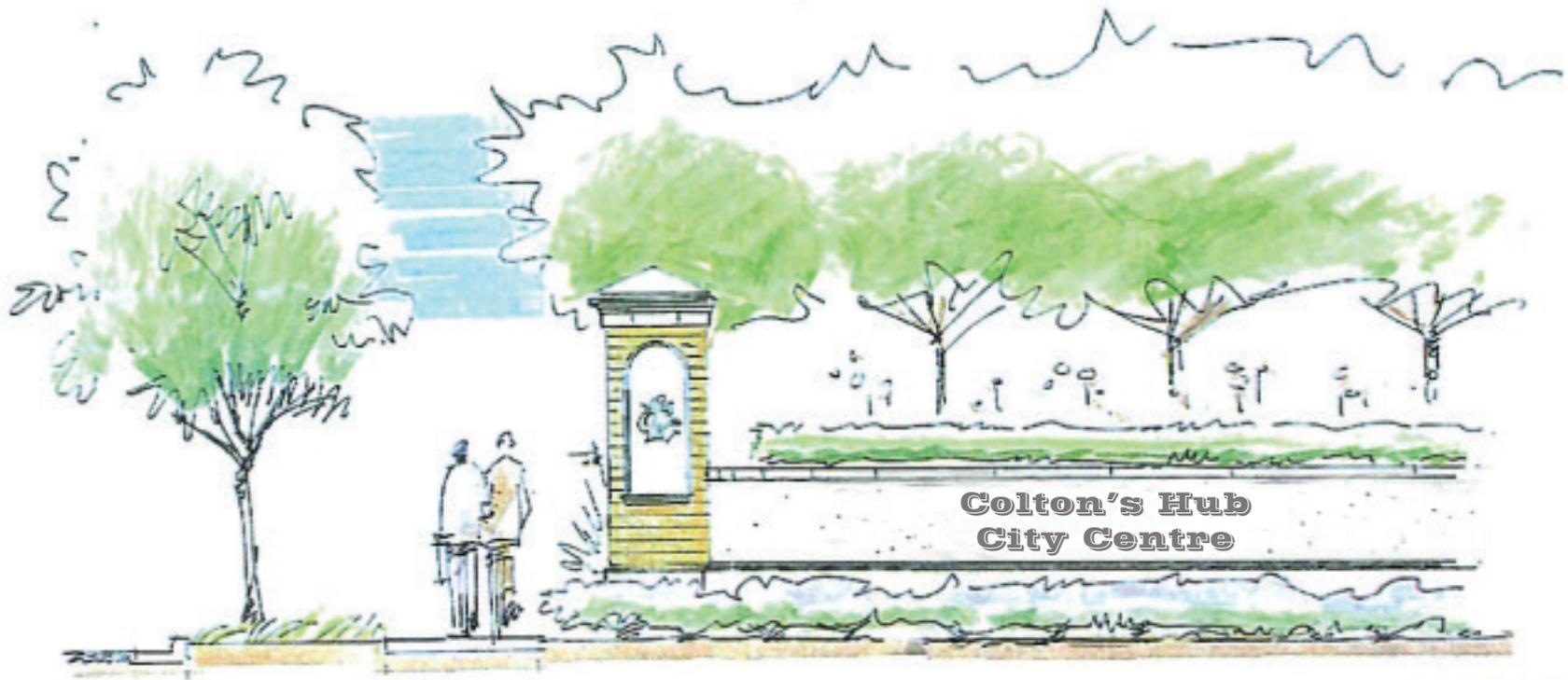
The following lighting examples establish an overall hierarchy and palette to create continuity within the community. Along local residential public and private streets, a fixture similar to the photo will create continuity and complement the overall community character.

Within retail areas, fixtures will include thematic lighting consistent with the architectural theme.

For parking areas, fixtures similar to the photo will provide a simple and elegant cut-off style that will minimize glare.

3. DESIGN GUIDELINES

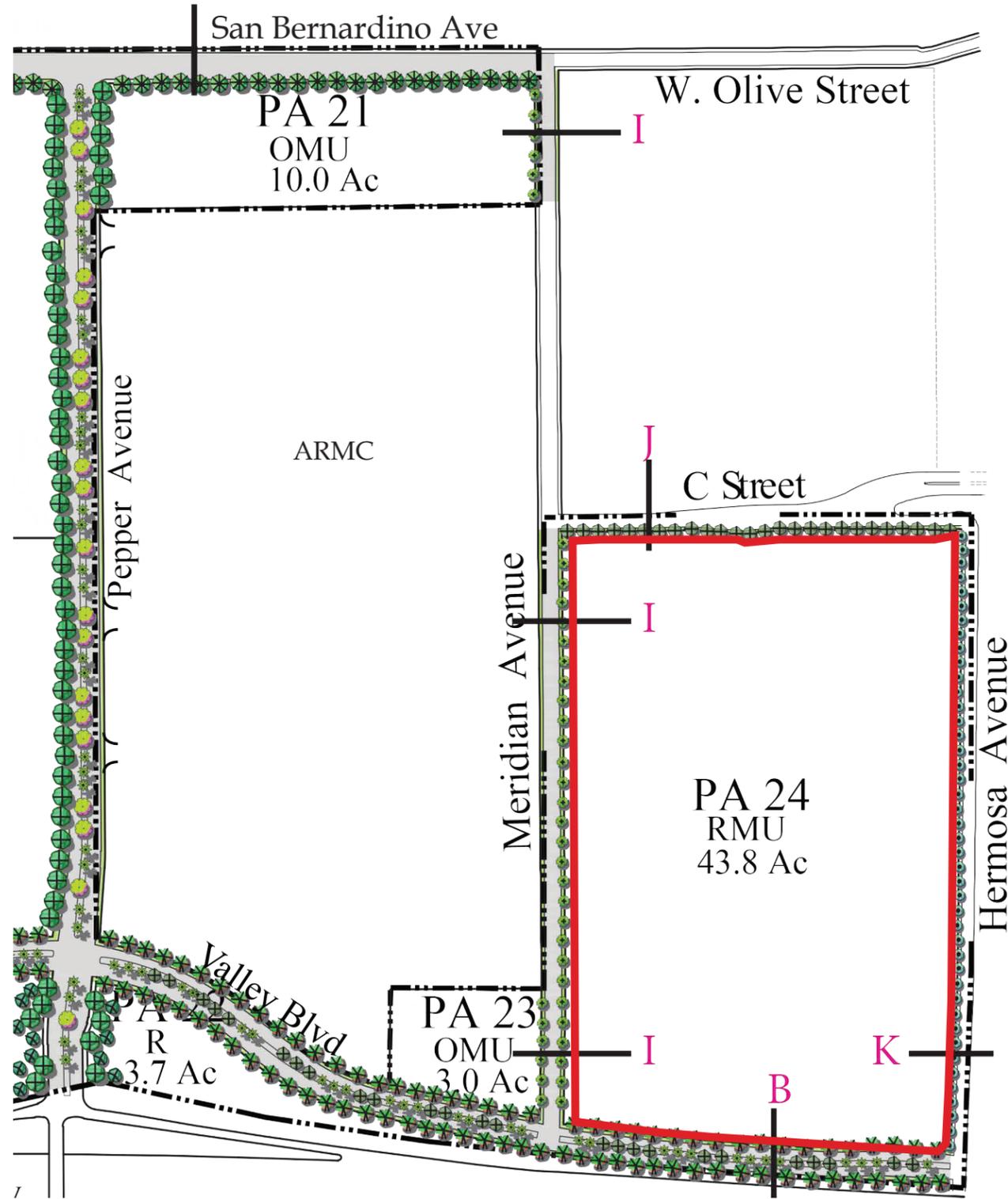
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Entry Monument at Meridian Ave and Valley Blvd

3. DESIGN GUIDELINES

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LEGEND:

- A - Pepper Avenue
 - Phoenix dactylifera
 - Date Palm
 - Jacaranda mimosifolia
 - Jacaranda
 - Brachychiton populeus
 - Bottletree
 - Geijera parvifolia
 - Australian willow
- B - Valley Boulevard
 - Phoenix dactylifera
 - Date Palm
 - Magnolia grandiflora
 - Southern Magnolia
 - Pistacia chinensis
 - Chinese pistache
- C - San Bernardino Avenue
 - Tipuana Tipu
 - Carrotwood
- D- Eucalyptus Avenue
 - Fraxinus uhdei "Majestic Beauty"
 - Evergreen Ash
- E- Street A
 - Tipuana tipu
- F - Wildrose Avenue
 - Magnolia grandiflora
- G - Wildrose Avenue
 - Geijera parvifolia
- H - Indigo Avenue / Woodpine Avenue
 - Platanus acevifolia
- I - Meridian Avenue
 - Tipuana tipu
- J - C Street
 - Platanus acevifolia
- K - Hermosa Avenue
 - Geijera parvifolia

Master Plan Area

Streetscape Master Plan
Planning Area 24 Master Plan



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3. DESIGN GUIDELINES

Table 2 Tree Species List

Botanical Name	Common Name	Botanical Name	Common Name
<i>Acacia subporosa</i>	Weeping acacia	<i>Pinus spp.</i>	Pine
<i>Arbutus unedo</i>	Strawberry tree	<i>Pistacia chinensis</i>	Chinese pistache
<i>Betula albo</i>	White birch	<i>Platanus acerifolia</i>	London plane tree
<i>Brachychiton populneus</i>	Bottle tree	<i>Platanus racemosa</i>	Sycamore
<i>Cedrus deodora</i>	Deodar cedar	<i>Podocarpus gracilior</i>	Fern pine
<i>Cinnamomum camphora</i>	Camphor tree	<i>Prunus spp.</i>	Flowering peach
<i>Cupaniopsis Anacardioides</i>	Carrot Wood	<i>Pyrus spp.</i>	Ornamental pear
<i>Cupressus sempervirens</i>	Italian cypress	<i>Quercus agrifolia</i>	Coast live oak
<i>Eucalyptus spp.</i>	Eucalyptus	<i>Quercus spp.</i>	Oak spp.
<i>Fraxinus uhdei</i>	Evergreen ash	<i>Rhus lancea</i>	African sumac
<i>Koelreuteria spp.</i>	Flame tree	<i>Robinia pseudoacacia</i>	Locust
<i>Lagerstroemia spp.</i>	Crape myrtle	<i>Salix babylonica</i>	Weeping willow
<i>Liquidambar styraciflua</i>	Liquidambar	<i>Schinus molle</i>	California pepper
<i>Liriodendron tulipifera</i>	Tulip tree	<i>Tipuana Tipu</i>	Tipu tree
<i>Magnolia grandiflora</i>	Magnolia	<i>Ulmus parvifolia</i>	Chinese elm
<i>Olea europaea (fruitless)</i>	Fruitless olive tree	<i>Zelkova serrulata</i>	Sawleaf zelkova

Table 3 Groundcover Species List

Botanical Name	Common Name
<i>Acacia redolens</i> 'desert carpet'	Dwarf trailing acacia
<i>Arctostaphylos</i> 'John Dourley'	John Dourley manzanita
<i>Ceanothus griseus</i> hor 'yankee point'	California lilac
<i>Fragaria chiloenses</i>	Wild strawberry
<i>Gazania rigens</i>	Clumping gazania
<i>Hypericum Calycinum</i>	Hypericum
<i>Lonicera Japonica</i>	Halls Honeysuckle
<i>Myoporum</i> species	Myoporum
<i>Rosemarinus officinalis</i> species	Rosemary
Turf grasses	Various drought tolerant varieties

3. DESIGN GUIDELINES

Table 4 Shrub Species List

Botanical Name	Common Name	Botanical Name	Common Name
<i>Abelia spp.</i>	Abelia	<i>Lavandula spp.</i>	Lavenders
<i>Agapanthus sp.</i>	Lily of the Nile	<i>Ligustrum spp.</i>	Privet
<i>Arctostaphylos sp.</i>	Manzanita	<i>Moraea bicolor</i>	Fortnight lily
<i>Baccharis sp.</i>	Desert broom	<i>Myrtus communis</i>	True myrtle
<i>Ceanothus sp.</i>	California lilac	<i>Nandina spp.</i>	Heavenly bamboo
<i>Cistus spp.</i>	Rockrose	<i>Ornamental grasses</i>	Fountain grass
<i>Cotoneaster species</i>	Cotoneaster	<i>Phormium tenax</i>	New Zealand flax
<i>Dietes Veseta</i>	Fortnight lily	<i>Photinia fraseri</i>	Photinia
<i>Elaeagnus pungens</i>	Silver berry	<i>Pittosporum tobira</i>	Mock orange
<i>Escallonia fradesii</i>	Pink escallonia	<i>Plumbago auriculata</i>	Cape plumbago
<i>Euryops pectinatus</i>	No Common Name	<i>Pyracantha species</i>	Firethorn
<i>Feijoa sellowiana</i>	Pineapple guava	<i>Rhapiolepis spp.</i>	India hawthorn
<i>Grevillea Noelli</i>	NCN	<i>Rosa californica</i>	California wildrose
<i>Grewia caffra</i>	Lavender starflower	<i>Salvia spp.</i>	Sages
<i>Hemerocallis species</i>	Daylily	<i>Taxus baccata</i>	English yew
<i>Heteromeles arbutifolia</i>	Toyon	<i>Tulbaghia Violacea</i>	Society garlic
<i>Iris douglasiana</i>	Douglas iris	<i>Xylosma congestum</i>	Shiny xylosma
<i>Juniperus torulosa</i>	Hollywood juniper		
<i>Juniperus h. Bar Harbor</i>	Bar Harbor true juniper		

Table 5 Vine Species List

Botanical Name	Common Name
<i>Distictis buccinatoria</i>	Blood red trumpet vine
<i>Ficus repens</i> ¹	Creeping fig
<i>Grewia caffra</i>	Lavendar star flower vine
<i>Mac Fadyena unguis-cati</i> ¹	Cat's claw vine
<i>Parthenocissus tricuspidata</i> ¹	Boston ivy
<i>Wisteria floribunda</i>	Wisteria

1. One of these vines shall be used on the masonry walls of trash enclosures.

4.8 Energy Efficiency Guidelines

The objective is to apply LEED efficiency guidelines to all proposed development within Planning Area 24.

4.9 Irrigation

All landscaped areas shall be watered with a permanent underground irrigation system, designed in a manner to ensure a minimum of 100 percent water coverage.

The combined summer elements of heat and wind shall be taken into account to assure proper irrigation design and equipment selection.

Irrigation controllers shall have a minimum time setting of one minute and be capable of providing multiple repeat start times. All irrigation heads adjacent to walks, drives, and curbs (car overhangs) shall be of the pop-up type.

Irrigation backflow prevention devices and controllers shall be located with minimum public visibility or screened with appropriate plant materials.

Water Conservation Measures

1. Drip and / or bubbler irrigation should be utilized where appropriate.
2. Use of moisture sensors and / or central control irrigation systems should be incorporated where appropriate and feasible.
3. For all areas to be publicly maintained, irrigation systems shall be designed per City guidelines.
4. All landscaping is required to comply with the City's Water Efficient Landscape Ordinance (WELO) and any subsequent amendments thereto. For any inconsistencies between the Specific Plan standards and the WELO, the WELO shall apply.

General Requirements

Irrigation systems and plans shall be prepared pursuant to the respective landscape maintenance district guidelines and / or City of Colton ordinances.

4.10 Planning Area 24 Streetscapes

Streetscapes play an important part in developing a distinctive community. Trees, shrubs and groundcovers within parkway, medians, and landscaped setback areas adjacent to the public rights of way all contribute to creating a unified and beautiful community. The streetscape design elements for the major and local streets within and around Planning Area 24 are described below by location in Exhibit 15 and illustrated in Exhibit 16, *Valley Blvd and Meridian Avenue Streetscapes* and Exhibit 17, *C Street and Hermosa Avenue Streetscapes*. While specific tree types

3. DESIGN GUIDELINES

have been selected for each of the major streets, they may be revised by Development Services Director and his/her designee. In the event they are changed, it is recommended that the form and shape of each substituted tree be similar to those for the respective street tree listed in Table 9. Furthermore, if there are any differences in the plant palette between the CHCCSP exhibits and the WELO, the most water-efficient plant materials shall be used.

All street trees within parkways, between the sidewalks and curbs, are intended to be planted with equal distant spacing versus informal groupings within the medians on Valley Blvd. Trees are shown in informal groupings, which is already the case in existing segments of the Pepper Avenue median west of Planning Area 24.

The following streetscapes below describe the selected species type, growing habits and placement for the streets surrounding Planning Area 24:

Valley Boulevard

Parkway Trees: Chinese Pistache

Median Trees: Date Palms and Crape Myrtle

Chinese Pistache are broad dome trees, with leaves that turn burgundy in the fall and provide an excellent shade canopy. While the trees are deciduous during the winter, the Southern Magnolias in the median will provide year round foliage. Flowering Crape Myrtle trees are also included in the median and will provide summer color.

Meridian Avenue

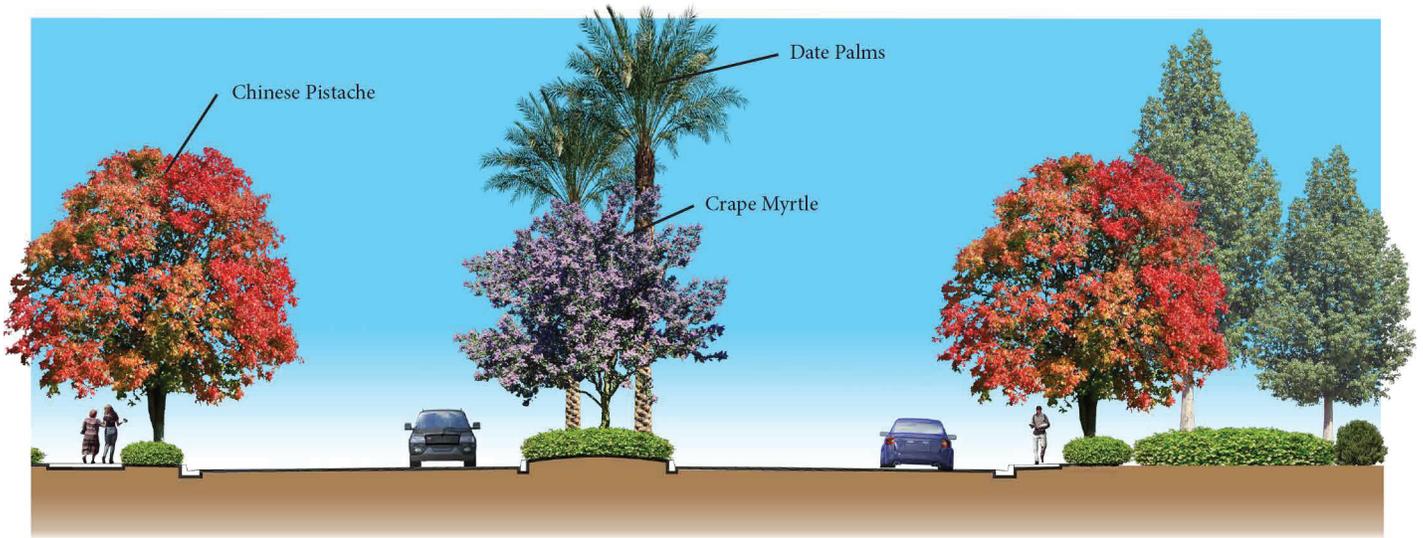
Parkway Trees: Southern Magnolia: An upright evergreen tree with white flowers in the summer.

C Street

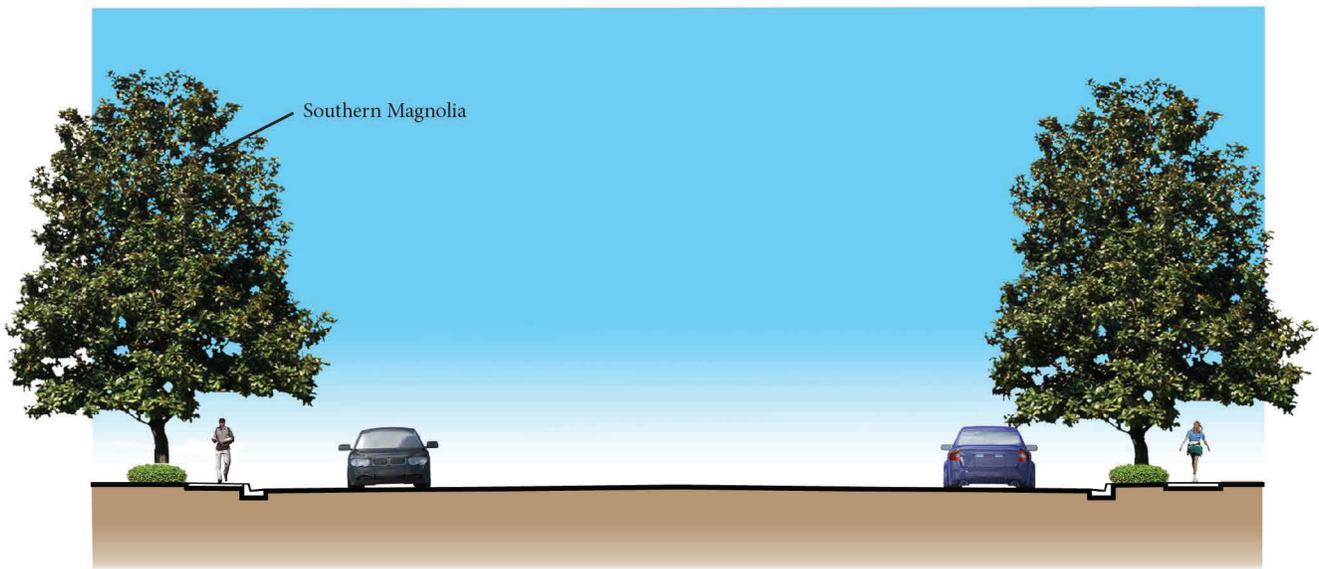
Parkway Trees: London Plane Tree: An upright deciduous tree that provides excellent shade during the hot summer months.

Hermosa Street

Parkway Trees: Australian Willow: Similar leaf shape and character to a California Pepper, but much cleaner, less maintenance.



Valley Boulevard



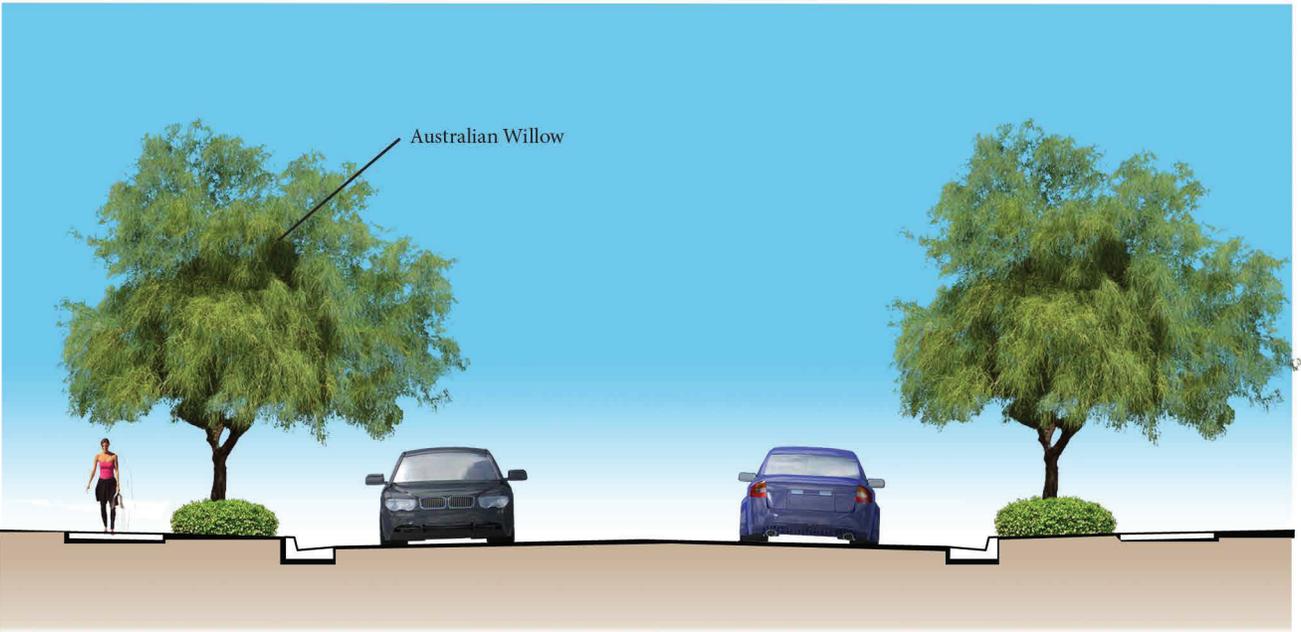
Meridian Avenue

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London Plane Tree

Indigo Avenue / C Street



Australian Willow

Hermosa Avenue

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ATTACHMENT 2

**Draft Planning Commission
Resolution No. R-14-16**

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RESOLUTION NO. R-14-16

A RESOLUTION OF THE OF THE CITY OF COLTON PLANNING COMMISSION APPROVING MASTER PLAN AND ARCHITECTURAL AND SITE PLAN REVIEWS TO ALLOW FOR THE CONSTRUCTION OF A PROPOSED 30,645 SQUARE FOOT, THREE STORY SURGERY CENTER BUILDING CONSISTING OF A PHARMACY, MEDICAL OFFICES AND SURGERY FACILITIES WITHIN THE HUB CITY CENTRE SPECIFIC PLAN ON A SITE LOCATED IN PLANNING AREA 24 WITHIN THE RMU (RETAIL MIXED USE) ZONE OF THE COLTON HUB CITY CENTRE SPECIFIC PLAN ON PROPERTY MEASURING APPROXIMATELY 2.18 ACRES LOCATED AT 1281 E. C STREET (FILE INDEX NO. DAP-001-240).

WHEREAS, Master Plan Review for Area 24 of the Colton HUB City Center Specific Plan and **Architectural and Site Plan Review** to allow a 30,645 square foot, three story surgery center building consisting of a pharmacy, medical offices and surgery facilities on a site located in Planning Area 24 within the RMU (Retail Mixed Use) Zone of the Colton HUB City Centre Specific Plan on property measuring approximately 2.18 acres located at 1281 East C Street (APNs: 0162-281-151 and 0162-281-67); and

WHEREAS, on May 10, 2016, the City of Colton Planning Commission conducted a duly noticed public hearing on the Application and all persons wishing to testify in connection with the proposed Application were heard, and the Application was comprehensively reviewed; and

WHEREAS, Pursuant to the California Environmental Quality Act (“CEQA”), Section 15332 (Infill Development Projects), the project is categorically exempt from CEQA because the project meets the criteria for infill development projects in size and location and would not result in significant environmental impacts; and

WHEREAS, all other legal prerequisites to the adoption of this Resolution have occurred.

BE IT NOW THEREFORE RESOLVED AS FOLLOWS:

SECTION 1. Based on the entire record before the Planning Commission and all written and oral evidence presented, and the findings made in this Resolution, the Planning Commission hereby finds that:

- a. *The provisions for vehicular parking and for vehicular and pedestrian circulation on the site, and onto adjacent public right-of-way will not create safety hazards;* In that the proposed project site design is providing a minimum of 155 parking spaces, which is in excess of the amount of parking spaces required, The parking has been designed with adequate dimension, drive aisles and access to a public street. Six required disabled parking spaces have also been provided in complying with City codes. The Master Plan also shows location of building foot prints and potential location of parking areas in making sure there is provision for parking, and for vehicular and pedestrian circulation in the area and onto adjacent public right-of-way so that safety hazards could be avoided.

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- b. ***The bulk, location and height proposed will not be detrimental or injurious to other development in the neighborhood or will result in the loss of or damage to unique natural or topographic features of the site that are important to the environmental quality of life for the citizens of Colton, and the development is feasible in a manner that will avoid such detrimental or injurious results or such loss or damage;*** in that all of the proposed buildings for project will not exceed the height limit within the Retail Mixed Use Zone of the Hub City Centre SP and the the proposed project will not create any significant environmental impacts affecting the citizens of Colton in that the proposed project is adequately parked, limited in access because of the nature of the surgery center operations is appointment based; therefore, is located in an area that will not create any significant impacts related to air quality, water quality, noise, or traffic.

- c. ***The provisions for exterior lighting are adequate for human safety and will not diminish the value and/or usability of adjacent property;*** the applicant’s architect has provided adequate lighting within the proposed project perimeter and interior areas for each commercial area proposed for this commercial center. Because the proposed project is for a medical center with ancillary uses, all security lighting will be required to meet light and glare shielding requirements of the Zoning Code.

- d. ***The exterior design of the buildings and structures will not be injurious or detrimental to the environmental or historic features of the immediate neighborhood in which the proposed development is located and will not cause irreparable damage to property in the neighborhood, to the City and to its citizens;*** The proposed architecture is a modern design, consistent with the Specific Plan design guidelines. The project has been conditioned, (condition #5), so that the integrity of the architecture and building colors also be maintained to be compatible as submitted with plans date stamped April 18, 2016. The project site is not located within a City of Colton Historic District. The objective of this Master Plan is to ensure that any proposed plan by an applicant for any one location or portion of the Planning Area is: 1) designed in a cohesive manner with adjacent parcels and adjacent planning areas; 2) provides vehicular and pedestrian access to adjacent sites and major roadways; and 3) is consistent with all Community Planning and Design Principles in Colton HUB City Centre Specific Plan (CHCCSP) Section 2.0 and other design guidelines and development regulations in other sections of the CHCCSP.

- e. ***The proposed development will not impose an undue burden upon off-site public services, including sewer, water and streets, which conclusion shall be based upon a written report of the City Engineer; and there is no provision in the capital works program of the City to correct the specific burden within a reasonable period after***

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I hereby certify that the foregoing is a true copy of a Resolution adopted by the Planning Commission of the City of Colton at a meeting held on May 10, 2016, by the following vote of the Planning Commission:

AYES:
NOES:
ABSENT:
ABSTAIN:

Planning Commission Secretary
Mark R. Tomich, AICP

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EXHIBIT "A"
CONDITIONS OF APPROVAL

THE APPLICANT SHALL COMPLY WITH ALL CONDITIONS AS SET FORTH IN THE FOLLOWING CONDITIONS OF APPROVAL FOR PLANNING CASE # DAP-001-240.

HOLD HARMLESS

1. The Applicant shall defend, indemnify, and hold harmless the City of Colton and its officers, employees, and agents from and against any claim, action, or proceeding against the City of Colton, its officers, employees, or agents to attacks, set aside, void, or annul any approval or condition of approval of the City of Colton concerning this project, including but not limited to any approval or condition of approval of the city council, planning commission, or development services director. The City shall promptly notify the Applicant of any claim, action, or proceeding concerning the project and the City shall cooperate fully in the defense of the matter. The City reserves the right, at its own option, to choose its own attorney to represent the City, its officers, employees, and agents in the defense of the matter.

PLANNING DIVISION (909) 370-5079

2. This approval is not considered final until the applicant signs the attached acknowledgement of conditions of approval, and submits the executed form to the Development Services Department.
3. This approval is for **Master Plan Review** for Area 24 of the Colton's Hub City Center Specific Plan and **Architectural and Site Plan Review** to allow a 30,645 square foot, three story surgery center building consisting of a pharmacy, medical offices and surgery facilities on a site located in Planning Area 24 within the RMU (Retail Mixed Use) Zone of the Colton HUB City Centre Specific Plan on property measuring approximately 2.18 acres; (File Index DAP-001-240), as shown on plans stamped April 18, 2016 by the Development Services Department.
4. Plans submitted for building plan check (construction plans) for this project shall contain signed copy of the approved Planning Commission Resolution and Conditions of Approval on one of its sheets, prior to issuance of a building permit.
5. The architecture and color scheme selected for the project shall be maintained by each of the property owners of the Surgery Center. Any changes to the architecture or color scheme shall require review and approval by the Development Services Director.
6. Any requests for modifications, including any deviation from the approved plans and/or conditions of approval, shall be submitted to the Development Services Director for review, prior to scheduling for Planning Commission meeting, if required.
7. Prior to issuance of building permits, the site plan shall be modified to delineate for future vehicular and pedestrian access/linkages to the adjacent sites to the north and the west, subject to review and approval by Development Services.
8. Prior to issuance of building permits, the site plan shall be modified to meet the minimum requirements for ADA accessible parking spaces.

- 1 9. Landscape and irrigation plans shall be for review and approval and shall meet the requirements
2 of the Hub City Centre Specific Plan, including ensuring that a minimum of 5% of all trees
3 shall be a minimum of 36 inch box size.
- 4 10. Any proposed signs shall require a separate permit and conform to the Sign Code.
- 5 11. The Applicant and/or Property Owner shall comply with all requirements of all reviewing
6 agencies and shall comply with all applicable local, state, and federal rules, laws, and
7 regulations.
- 8 12. The Applicant and/or Property Owner shall, at all times, operate and maintain the property so
9 as not to constitute a nuisance in the community.
- 10 13. During grading and construction phases, the construction manager shall serve as the contact
11 person in the event that dust or noise levels become disruptive to surrounding businesses. A
12 sign shall be posted at the project site with the contact phone number.
- 13 14. Gas meters, backflow prevention devices and other ground-mounted mechanical or electrical
14 equipment installed by the developer shall be inconspicuously located and screened, as
15 approved by the Development Services Director. Location of this equipment shall be clearly
16 noted on landscape construction documents.
- 17 15. Electrical and other service facilities shall be located within an interior electrical room or
18 approved comparable location. All electrical service facilities shall be fully screened from
19 public view, as approved by the Planning Division.
- 20 16. The applicant shall underground all new utilities and utility drops.
- 21 17. The applicant shall comply with all subdivision requirements of the City, subject to review and
22 approval by the Public Works Department.
- 23 18. Prior to issuance of grading or building permits, Habitat Mitigation Fees shall be paid pursuant
24 to the City of Colton's Habitat Mitigation Fee Program for the West Valley Habitat
25 Conservation Plan, and any subsequent amendments thereto.

21 **BUILDING**

- 22 19. The above project shall comply with the current California Codes (CBC, CEC, CMC and the
23 CPC) as well as city ordinances. All new projects shall provide a soils report as well. Plans shall
24 be submitted to the Building & Safety Division as a separate submittal. The 2013 edition of the
25 California Codes will become effective for all permit applications submitted after January 1,
26 2014.
- 27 20. Prior to final inspection, all plans will be placed on a CD Rom for reference and verification.
28 Plans will include "as built" plans, revisions and changes. The CD will also include Title 24
energy calculations, structural calculations and all other pertinent information. It will be the
responsibility of the developer and or the building or property owner(s) to bear all costs required
for this process. The CD will be presented to the Building & Safety Division for review prior
to final inspection and building occupancy. The CD will become the property of the Colton

1 Building & Safety Division at that time. In addition, a site plan showing the path of travel from
2 public right of way and building to building access with elevations will be required.

3 **ELECTRIC DEPARTMENT:**

4 21. It has been determined that the project is within the City of Colton. The City of Colton will
5 provide service to this project. The developer shall meet all City of Colton Electric Utility service
6 requirements and pay all applicable fees.

7 22. The project developer/applicant shall comply with all customer service policies of the City of
8 Colton Electric Utility Department. The developer shall provide the Electric Utility with all
9 information necessary to determine the project's electric service requirements; and if
10 necessary and at their own expense, install all conduit and vault systems associated with
11 underground primary/service line extensions and street-lighting as per the Electric Utility's
12 approved design. The developer shall pay all charges associated with the Electric Utility's cost
13 to construct underground and overhead line extensions and street-lighting.

14 23. The project developer/applicant shall be responsible for all costs associated with installing an
15 underground conduit and vault system. The line will extend from the electric vault located on
16 the corner of Meridian and 'C' Street along the entire front of the project property.

17 24. The project developer/applicant shall be responsible for all costs associated with the
18 installation of street lighting throughout the project area.

19 25. The project developer/applicant shall give Colton Electric Department, if needed, easements
20 associated with the project area.

21 **PUBLIC WORKS:**

22 **STREET IMPROVEMENTS**

23 26. Construct missing street improvements along the project frontage consisting of curb, gutter,
24 sidewalk, A.C. pavement, driveway approaches, handicap access ramps, streetlights, street
25 signs, and roadway striping, etc., as per the approved Street Improvement Plans and City of
26 Colton Standard Specifications.

27 27. Grind and overlay (2" thick minimum) the existing asphalt pavement along the Project frontage
28 at C Street.

29 28. Improvements along C Street frontage shall be constructed per planned ultimate right of way.

30 29. Submit (3) sets of street improvement plans for the off-site improvements (including signing
and striping), prepared by a licensed civil engineer. The scale of this plan shall be no less
than 1" = 40'.

31 30. All parkway and unpaved areas within the public right-of-way fronting the project shall be
landscaped (drought tolerant) and maintained, and an automatic sprinkler system installed.

- 1 31. The Developer shall construct improvements to mitigate traffic impacts as identified by the
2 traffic analysis.
- 3 32. If needed, dedicate to the City the necessary right of way for the ultimate width of C Street.
- 4 33. The applicant shall restore any existing street improvements in the vicinity of the project that
5 will be damaged during construction.
- 6 34. EASEMENTS - All existing easements listed in the title report shall be labeled and
7 dimensioned. All new easements required by the conditions of approval or required for
8 associated improvement plans shall be labeled and dimensioned. An easement note with symbol
9 and complete description may be provided. New easements and street right-of-way easements
shall be irrevocably offered for dedication to the City in the ownership certificate. Offers of
dedication will be accepted once all improvements are completed and the improvements are
accepted by the City Engineer.

10 **DRAINAGE**

- 11 35. The property's street and lot grading shall be designed in a manner that perpetuates the existing
12 natural drainage patterns with respect to tributary drainage area, outlet points and outlet
13 conditions; otherwise, a drainage easement shall be obtained from the affected property owners
14 for the release of concentrated or diverted storm flows. A copy of the recorded drainage
15 easement shall be submitted to the City of Colton for review prior to the recordation of the final
16 map.
- 17 36. The Storm Drain Plan for the proposed development shall be accompanied by hydrology and
18 hydraulic analysis prepared by a licensed engineer and shall be designed per the San Bernardino
19 County Hydrology Manual employing the rational method. The project may only discharge
20 downstream an amount of storm run-off equivalent to the historic flow discharged prior to
21 project development. The storm drain design shall incorporate the drainage from the existing
22 tracts along boundary of the proposed project. The detention/retention basin and open space
23 areas shall be landscaped and maintained by the Developer.
- 24 37. Submit to the City Engineer's Office the Drainage and Erosion Control plans for review and
25 approval. These plans to be prepared by a Civil Engineer register in the State of California.
26 Provide plan and profile for all storm drainage work.
- 27 38. Submit drainage/hydrology study calculations and a hydraulic analysis for both developed and
28 undeveloped conditions to the City of Colton for review and approval. All of the drainage from
each individual lot shall drain into the public right-of-way and not impact surrounding
properties, or a drainage easement acceptance letter from the adjacent landowner must be
obtained.
39. Owner/Developer shall notify adjacent property owners about the impact of the proposed
development on drainage configuration of existing adjacent properties. Such notification shall
be pre-approved by the City Engineer. These drainage issues shall be resolved prior to issuance
of a grading permit.

1 40. The 10 year storm flow shall be contained within the curb and the 100 year storm flow shall be
2 contained within the street right-of-way. When either of these criteria is exceeded, additional
drainage facilities shall be installed.

3 41. File a Notice of Intent and obtain an NPDES Construction Activity General Permit from the
4 State Regional Water Quality Control Board and submit a copy of each to the Public Works
5 Department. Ensure that Best Management Practices (BMPs) are followed, per NPDES
6 requirements to reduce storm water runoff during, construction and thereafter. Temporary
7 erosion control measures shall be implemented immediately following rough grading to prevent
8 deposition of debris into the downstream properties or drainage facilities. Submit a Storm Water
Pollution Prevention Plan (SWPPP) which specifies Best Management Practices (BMPs) that
will prevent all construction pollutants from contacting storm water and with the intent of
keeping all products of erosion from moving off site into receiving waters for review.

9 **GRADING**

10 42. Submit to the City Public Works Department a separate grading plan of a scale of
11 1" = 20' prepared by a civil engineer registered in the State of California. The grading plan
12 shall include a topographic contour map of the site and 15 feet beyond the property lines, with
13 a one-foot contour interval. This contour map shall be prepared within the last 12 months prior
to a grading permit approval. The final grading plan shall be a 4 mil mylar, which the City
Engineer will sign and retain at the City Engineer Office for record.

14 43. A note shall be placed on the plans that states "All block walls and fencing shall be shown on
15 the grading plan for reference only and shall be separately permitted by the City Building
Department.

16 44. Place City Standards grading and drainage notes, including NPDES requirements on the
17 grading plan.

18 45. A pad certification prepared by a licensed Civil Engineer registered in the State of California
19 shall be submitted prior to issuance of building permits.

20 46. Prior to final project acceptance, applicant to submit an as built of grading plans. No final
will be authorized until as-builds are submitted to Public Works Department.

21 47. Owner/Developer shall notify adjacent property owners about the impact of the proposed
22 development on the drainage configuration of existing adjacent properties. Such notification
23 shall be pre-approved by the City Engineer. These drainage issues shall be resolved prior to
the issuance of a grading permit.

24 48. Provide the Public Works Department with a separate Erosion Control plan of a scale of 1" =
25 20'.

26 49. The applicant shall submit a Water Quality Management Plan (WQMP) specifically identifying
27 Best Management Practices (BMPs) that will be used onsite to reduce the pollutants into the
storm drain system prior to issuance of grading permit. Forms are available at the City of Colton
28 Public Works Department.

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50. All parking lots shall be surfaced with A.C. to a minimum thickness of 4 inches over a minimum aggregate base of 6 inches or surfaced with P.C.C. with a minimum thickness of 6 inches over 3 inch aggregate base. These thicknesses may be waived upon submittal of an R value and pavement thickness testing and analysis submitted by a registered geologist or geotechnical engineer.

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WATER AND WASTEWATER REQUIREMENTS

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51. The development shall meet all the requirements as set forth by the water/wastewater department for water, sewer and pre-treatment facilities.

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52. All construction shall conform to the current edition of the specifications for public works construction (green book), and the current standards and specifications of the City of Colton Water / Wastewater Department.

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53. Colton municipal code 13.08.235 and 13.08.253, requires the installation of a grease interceptor for commercial or industrial generators of grease (restaurants, cafes, cafeterias, auto body shops, etc). Clearly show the connection to grease interceptor on plans if applicable.

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54. Developer is required to have a registered civil engineer prepare a **PRIVATE ON-SITE UTILITY PLAN (PSUP)**. The sewer PSUP must show the size and location of the existing or proposed water/sewer connection to the existing water and sewer collection system. PSUP plans shall be submitted with an engineer's cost estimate along with the water/sewer calculations to support the design.

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55. Developer shall connect the proposed sewer service on the existing sewer main along Meridian Avenue, a public utility easement shall be provided.

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56. All wastewater capacity fees must be paid prior to obtaining the certificate of occupancy. Additional capacity fees may apply if the actual discharge exceeds the estimated flow established during initial approval. Service will be terminated if the fees are not paid.

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57. All connection fees and charges shall be levied at rate scheduled by City Council at the time of payment by developer.

PROJECT DEVELOPMENT

58. No final inspection will be performed until all Public Works Department requirements pertaining thereto are in compliance.

STUDIES & REPORTS

59. Submit a soils report prepared by a registered geologist or soils engineer. This report should be based on soil samples taken from the site and should analyze the existing geotechnical conditions of the site to determine if the existing soil is adequate for the development and safe from hazardous or deleterious materials. The report should also satisfactorily address the compaction and soil stability characteristics of the site. The number of soil borings performed on the site shall be strategically located throughout the site.

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- 60. Submit a Traffic Analysis for review and approval by the City. Traffic Study shall identify all traffic related impacts and mitigations from the project.
- 61. The applicant shall submit a Water Quality Management Plan (WQMP) specifically identifying Best Management Practices (BMPs) that will be used onsite to reduce the pollutants into the storm drain system prior to issuance of grading permit. Forms are available at the City of Colton Public Works Department.
- 62. Submit drainage/hydrology study calculations and a hydraulic analysis for both developed and undeveloped conditions to the City of Colton for review and approval. All of the drainage from each individual lot shall drain into the public right-of-way and not impact surrounding properties, or a drainage easement acceptance letter from the adjacent landowner must be obtained.

FEES

- 63. A Plan Check fee for all improvement plans and studies for the proposed development shall be paid prior to plan checking proceedings in accordance with the fee schedule in effect at the time the fees are paid.
- 64. Public Works permits are required prior to construction within the public right of way.
- 65. Sewer Connection fees shall be paid prior to the issuance of building permits, in accordance with the fee schedule in effect at the time the fees are paid.
- 66. Pay Plan Check Fees and Permit Fees for the review of the site grading and drainage plan. Submit a detailed cost estimate to determine the plan checking fee.
- 67. The applicant shall pay the development impact fees and infrastructure fees in effect at the time that building permits are obtained for approved structures. Applicants shall be required to submit detailed plans showing approved Land Uses and the square footage of each structure proposed.
- 68. The applicant shall pay storm drain development fees.
- 69. Pay plan check fee for the plan checking of street improvement plans. Submit a detailed cost estimate to determine the plan checking fee.
- 70. Pay plan check fee for the plan checking of the Water Quality Management Plan.

CONSTRUCTION & MAINTENANCE OF PUBLIC IMPROVEMENTS

- 71. All required water lines and fire hydrants shall be installed and made operable before any building permits for framing are issued. This may be done in phases if the construction work is in progress for emergency vehicles.

1 72. Vehicular access shall be maintained at all times to all parts of the proposed project, where
2 construction work is in progress, for emergency vehicles.

3 73. All precautions shall be taken to prevent washouts, undermining and subsurface ponding,
4 caused by rain or runoff to all surface structures (curbs, gutters, sidewalks, paving, etc.). The
5 Public Works Department may order repair, removal and replacement, extra compaction tests,
6 load tests, etc. or any combination thereof for any such structure that was damaged or appears
7 to have been damaged. All of the additional work, testing, etc., shall be at the expense of the
8 developer.

9 74. All required public improvements for the project shall be completed, tested and approved by
10 the Public Works Department prior to the issuance of any Certificate of Occupancy for such
11 tract.

12 75. Prior to any street construction or relocation, when there are monuments in the project area
13 which control the location of subdivisions, streets or highways, or provide survey control, the
14 developer shall locate and reference the monuments and shall reset them after construction as
15 required by Section 8771 of the Business and Professions Code, in a manner meeting the
16 approval of the City Engineer.

17 **SUBDIVISION MAP - FINAL MAP**

18 76. Submit a Final Map to the City Engineer for review and approval.

19 77. Submit a copy of the Title Report to the Engineering Division.

20 78. Final Map shall be accompanied by closure calculations, vesting deeds, and record maps of
21 adjoining properties.

22 79. An original mylar of the final map (after it is recorded) shall be provided to the City for the
23 City's map files.

24 80. Pay plan check Fee for the review of the Parcel Map.

25 **FIRE DEPARTMENT**

26 81. The development shall conform with all the requirements of the city of Colton's Municipal Code
27 requiring on-site fire protection prior to construction.

28 82. Access roadways shall be provided in accordance with the City's Municipal Code and shall be
include a minimum of two site access points as approved by the Fire Department.

83. A municipal water supply system (public fire hydrants) shall be provided, capable of providing
the required fire flow for the proposed type of construction. Minimum fire flow for this project
shall be 2,375 g.p.m.

84. On-site fire hydrants shall be required for this project, and installed prior to construction.
Detailed drawings with supporting calculations shall be submitted to the Fire Department/Fire
Safety Division for review, approval, and permit issuance prior to installation.

- 1 85. An engineered automatic fire sprinkler system is required for this project. Detailed drawings
2 and calculations shall be submitted to the Fire Department for review, approval and permit
3 issuance, and prior to installation.
- 4 86. Premise identification shall be provided in accordance with the City's' Security Ordinance #0-
5 13-89, Section XIV (residential), Section XV (commercial).
- 6 87. Where access to or within a structure is restricted due to secured openings, a "Knox" rapid
7 entry key system will be required. The key box or switch shall be located in an accessible
8 location, as determined by the Fire Department.
- 9 88. If temporary fencing is used to enclose the construction site, at least two (2) means of
10 unobstructed access must be installed, and maintained in locations as to give maximum
11 access to all parts of the site, and in accordance with the Fire Departments' requirements.
- 12 89. Visible hazard identification signs (placards) in accordance with the International Fire Code
13 and as specified by N.F.P.A 704 shall be provided and placed at the entrances to locations
14 where hazardous materials are stored, dispensed, or used in quantities.
- 15 90. A Fire Department Permit will be required for your operations in accordance with Section 105
16 of the International Fire Code. The fire permit shall be obtained from the Fire Safety Division
17 of the Fire Department.
- 18 91. Portable fire extinguishers shall be required for this project. Size, type, and locations shall be
19 determined by the fire department's field inspector.
- 20 92. The proposed facility's use and/or operations shall be designed and maintained in accordance
21 with the 2012/2013 editions of the International Fire and Building Codes / California Fire and
22 Building Codes (Title 24).
- 23 93. A fire alarm system designed; installed and maintained in accordance with National Fire
24 Protection Association's Standard #72 (N.F.P.A. 72) shall be provided. Detailed drawings with
25 supporting calculations shall be submitted to the Fire Department for review, approval and
26 permit issuance, and prior to the installation.
- 27 94. Deferred plan submittals to the Fire Department and separate permits from the Fire
28 Department are required on the following:
- automatic fire suppression/sprinkler systems
 - fire alarms
 - onsite fire mains and fire hydrants
 - high piled combustible storage
 - Protected Aboveground Fuel Storage Tanks / Dispensing
95. Chapter 6.95 of the California Health and Safety Code requires that facilities that handle
hazardous materials or generate hazardous wastes must comply with hazardous material
disclosure laws. a "business emergency /contingency plan" will be required for this project prior
to occupancy.

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2 96. The applicant shall comply with all Fire Department requirements as noted during the
business occupancy process. (B.O.P.)

3 **CODE ENFORCEMENT/POLICE DEPARTMENT**

4 97. Landscaping: Property manager or tenant will maintain all approved landscaping in good
5 condition, including but not limited to adequate irrigation, mowing of grass, and replacing dead
6 trees and shrubs. Above ground landscaping controls or backflow valves will be secured in a
locked metal cage to prevent theft or vandalism.

7 98. Loitering: Loitering is prohibited on or about the premises. No exterior fixtures or furnishings
8 at or adjacent to the location that encourage loitering and nuisance behavior. No exterior pay
telephones.

9 99. Litter/Graffiti: The exterior of the business and areas adjacent to the business over which they
10 have control, including all signs and accessory buildings and structures, shall be maintained
11 free of litter and graffiti at all times. The owner or operator shall provide for daily removal of
12 trash, litter and debris from the premises and on all abutting sidewalks and parking lots within
13 twenty (20) feet of the premises. Graffiti shall be removed within forty-eight (48) hours with a
color-matching paint. The expectation for graffiti cover up is an appearance that the graffiti
never existed.

14 100. The applicant shall grant “right of access” by the city or agent to remove graffiti.

15 101. Exterior Lighting: All lightning will be maintained in good working order. All lighting shall
16 be shown on the required plot plans. Lighting shall be designed and installed in such a manner
17 that provides adequate lamination to all parking spaces, stalls, walkways, corridors, and
18 stairways, insuring there are no dim, dark, or shadowed areas (other than shadows naturally
19 cast beneath the actual vehicles.) Lighting level will be a minimum footcandles as required
20 by ordinance. The placement of the lighting fixtures shall be such that the angle of projected
21 light does not interfere or hinder the vision of police officers or security personnel patrolling
the areas. All lighting will be properly shielded so as to not trespass or disturb neighboring
residences, adjacent businesses, or persons while driving vehicles upon the roadway. In the
event a lighting fixture becomes inoperable, property management will have the lighting
repaired within 72 hours.

22 102. General Parking: Parking lot shall be maintained in accordance with Title 18 of the Colton
23 Municipal Code, zoning ordinance requirements for paving and striping. Parking shall include
24 the required amount of Disabled parking to ADA specifications and dimensions. All parking
25 lot entrances will be posted in compliance with Vehicle Code 22658 which minimally
26 includes: A substantive statement prohibiting public parking, states vehicles will be towed at
owner’s expense, references Vehicle Code 22658, and must be a minimum of 17”X 22” with
a minimum of 1” letters. In addition, the sign will indicate the name of the private towing
company and phone number above the police department name and phone.

27 103. Disabled Parking: All disabled parking spaces will comply with Americans with Disabilities
28 Act (ADA) requirements and Vehicle Code 22511.8. In addition, disabled parking will be
clearly indicated by all three indicia: 1.) blue wheel stop and/or curb, 2.) blue sign with white

1 wheelchair symbol at head of space, and 3.) blue field with wheelchair symbol and blue
2 striping painted on the ground. All parking lot entrances will be posted in accordance with
Vehicle Code 22511.8(d).

3 104. Storage: Parking and trash areas will not be used for storage of hazardous materials, including
4 but not limited to tires, waste oil, and inoperable or unregistered vehicles. Property manager
5 or tenant shall promptly abate hazardous materials or inoperable vehicles. General exterior
storage areas will be screened from public view.

6 105. Signage: Applicant will fully comply with Colton Municipal Code 18.50 Sign Ordinance as
7 amended. Temporary promotional signs require a permit and must be authorized by
8 Development Services prior to display. Refer to code for additional signage permitting and
requirements.

9 106. Advertisements: Handbills or advertisements may be distributed in public places person-to-
10 person but will not be placed or left upon unoccupied vehicles or otherwise left unattended in
public places.

11 107. Special Events: Per Colton Municipal Code section 5.44, applicant shall not conduct, operate,
12 maintain, organize, advertise, or sell or furnish tickets for a special event or permit the subject
13 property to be used for any special event without first obtaining a special event permit. Special
14 events include, but are not limited to, sales events where merchandise, goods, or vehicles are
15 displayed for sale on the property, political functions, fundraising events by non-profit entities,
and events featuring motivational or educational speakers. The Special Event Committee may
expressly grant a minor variance of conditions specific to individual special events.

16 108. Surveillance Monitoring: Should permittee install a video surveillance monitoring system, the
17 video system shall be capable of recording a clear view of all areas of the subject property
18 including, but not limited to, parking lots, walkways, corridors, all sides of buildings, the
perimeter landscape and grass areas. Recordings shall be retained for a minimum of 30
days. Copies of recordings will be provided to the Colton Police Department upon request.

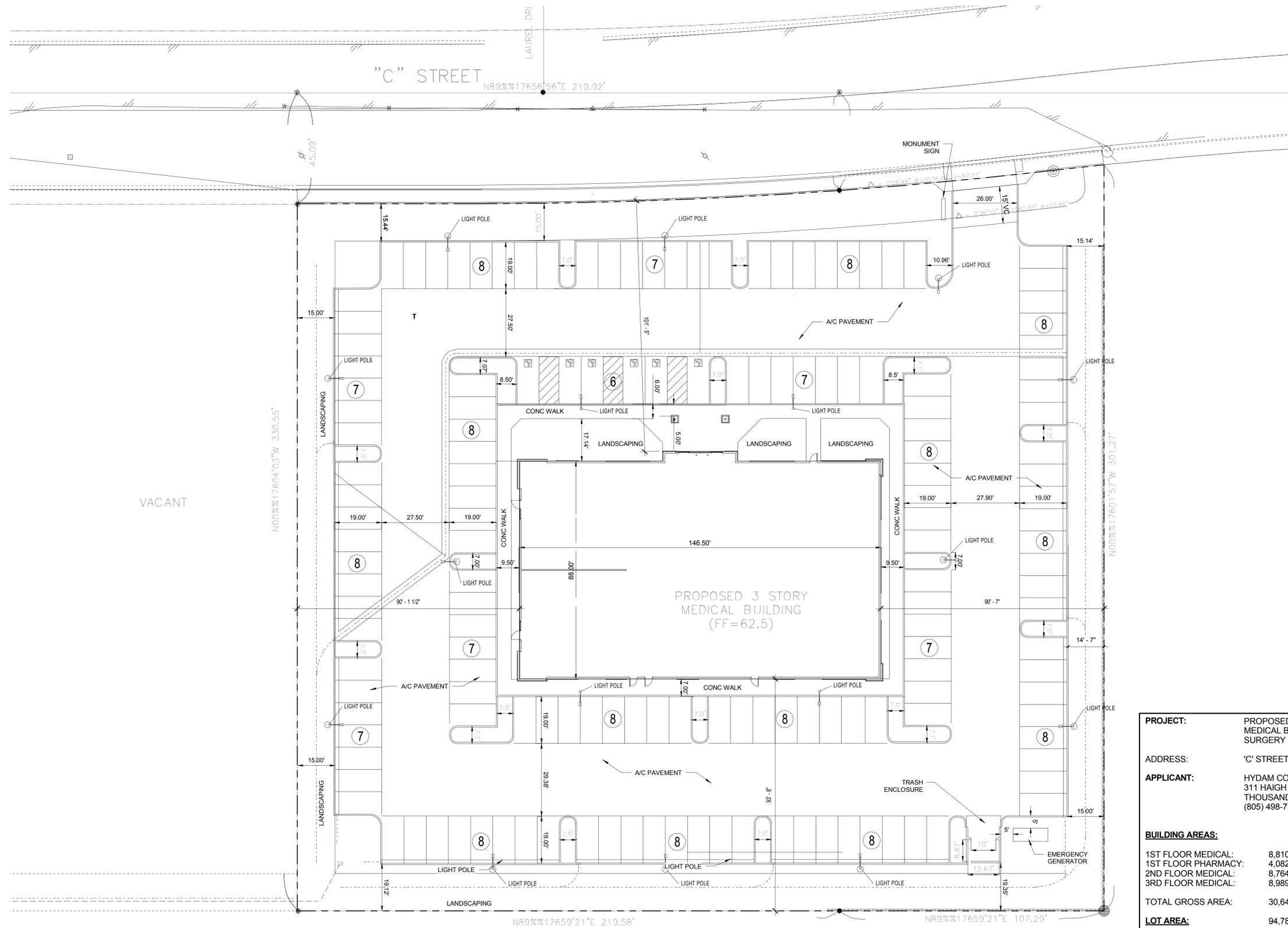
19 109. After hours Contact Information: Permittee will ensure after hours contact person information
20 is kept current and on file with the Colton Police Department dispatch center. Ideally there
21 should be several responsible persons available to respond in case of emergency; each should
22 be a key holder with knowledge of alarm reset codes, available to respond within 20-30
minutes, and of sufficient authority to facilitate a board up or other emergency repair measures.

23 110. Right of Access: Permittee shall grant "right of access" to the City of Colton and its employees
24 or agents for the purposes of monitoring compliance with these Conditional Use Permit
25 conditions, patrolling, investigating crimes, and enforcing laws and ordinances on the subject
26 property. Permittee shall grant "right of access" to the City of Colton and its employees or
agents to remove graffiti and to determine if the applicant is in compliance with these
conditions.

27 111. The permittee shall comply with all federal, state and local laws, including the Alcohol
28 Beverage Control (ABC) Act. Any material violations of such laws in connection with the
authorized use shall be grounds for revocation of this conditional use permit

ATTACHMENT 3

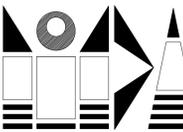
Plans



1 SITE PLAN
1" = 20'-0"

PROJECT:	PROPOSED 3-STORY MEDICAL BUILDING AND SURGERY CENTER
ADDRESS:	'C' STREET (EAST OF MERIDIAN AV)
APPLICANT:	HYDAM CONSTRUCTION, INC. 311 HAIGH RD., SUITE 201 THOUSAND OAKS, CA 91320 (805) 498-7786
BUILDING AREAS:	8,810 SF 4,082 SF 8,764 SF 8,989 SF
TOTAL GROSS AREA:	30,645 SF
LOT AREA:	94,782 SF
LANDSCAPING AREA:	24,500 SF
BUILDING COVERAGE:	12,900 SF
PARKING ANALYSIS:	26,563 SF/200 = 133 SPACES 4,082/250 = 16 SPACES TOTAL REQUIRED: 149 SPACES TOTAL PROVIDED: 152 SPACES



ARCHITECTS:

MESA DESIGN ARCHITECTS
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 TEL: (805) 498-7786 FAX: (805) 498-2600
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CAL MED SURGERY CENTER
 "C" STREET, COLTON, CA

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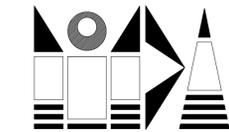




1 1st FLOOR PLAN
3/16" = 1'-0"



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CAL MED SURGERY CENTER

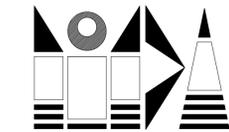
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1st FLOOR PLAN
A-02



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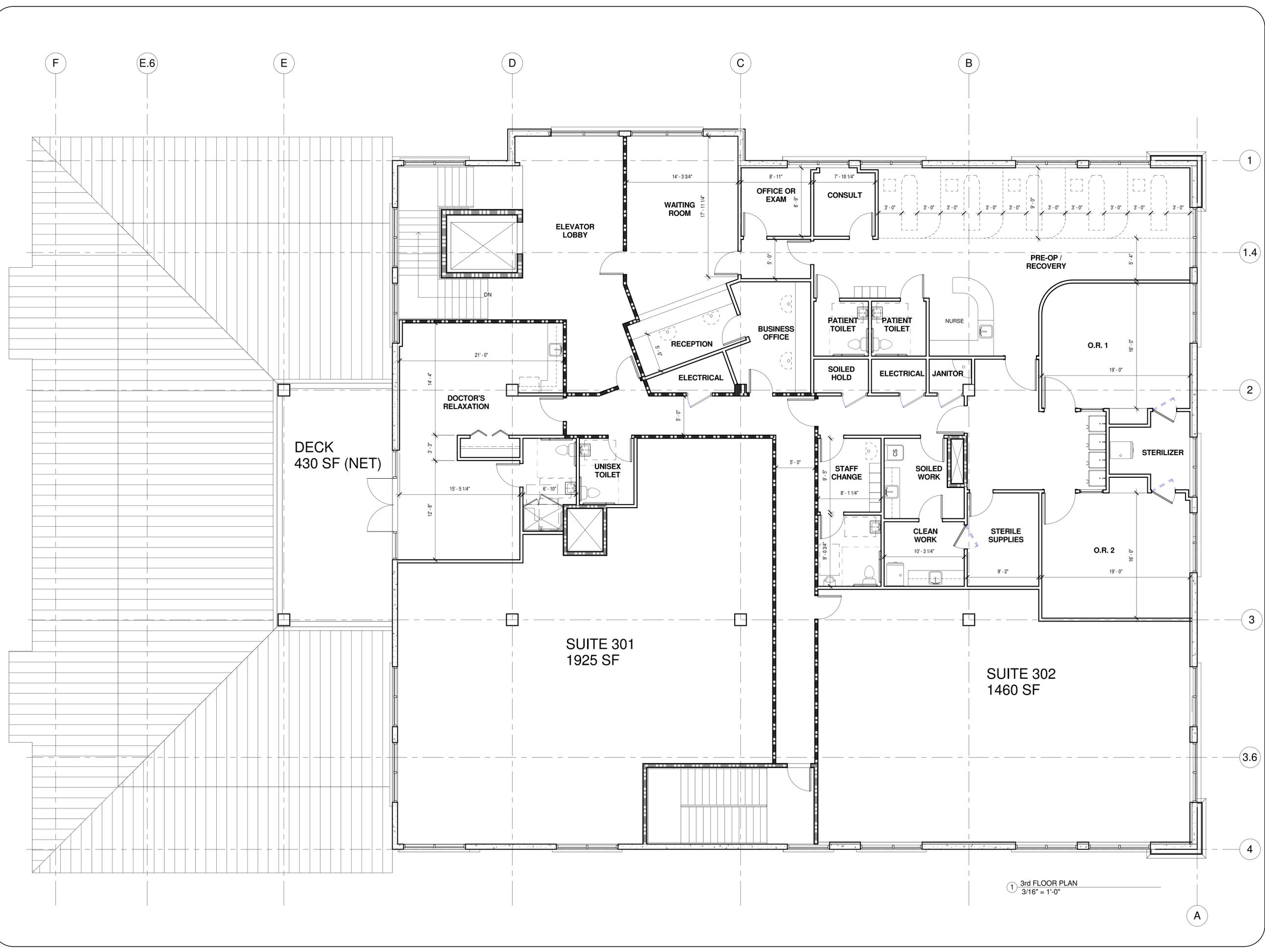


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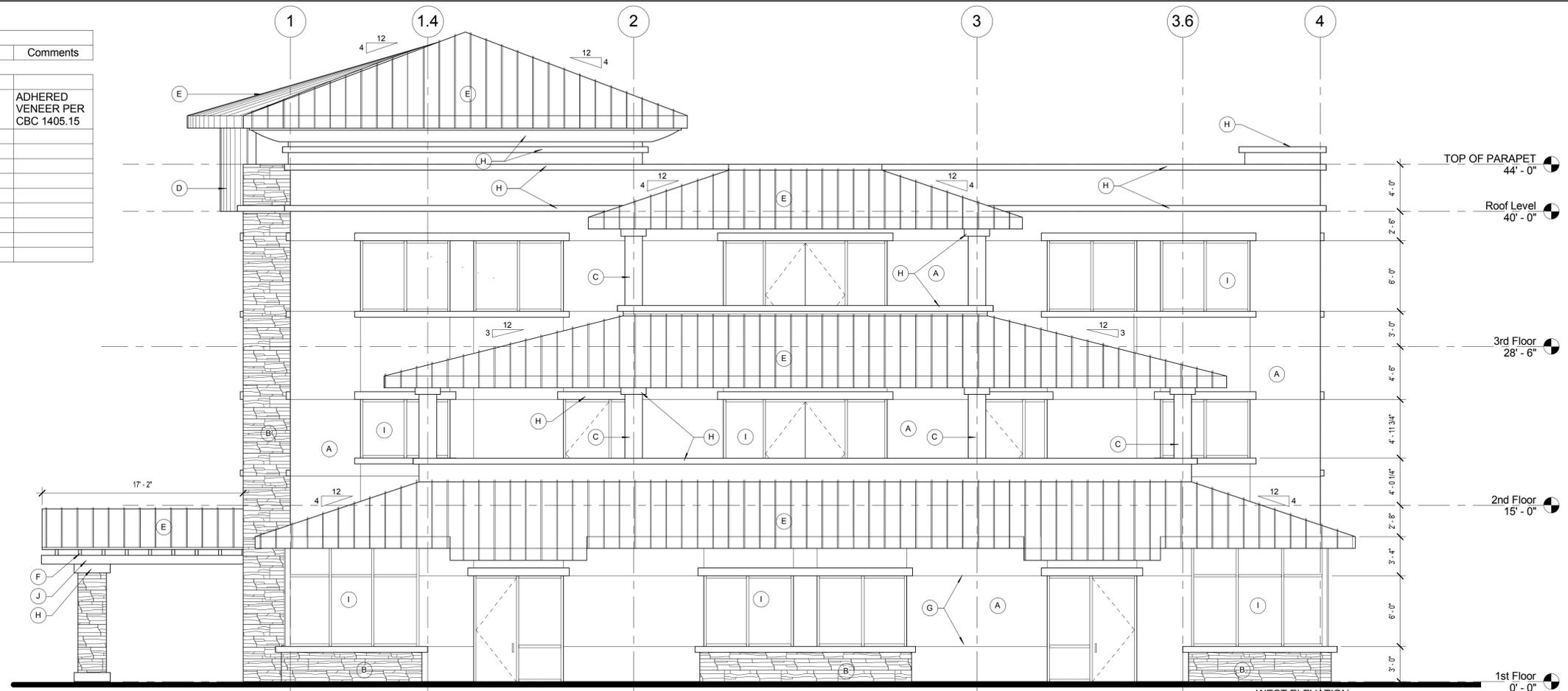
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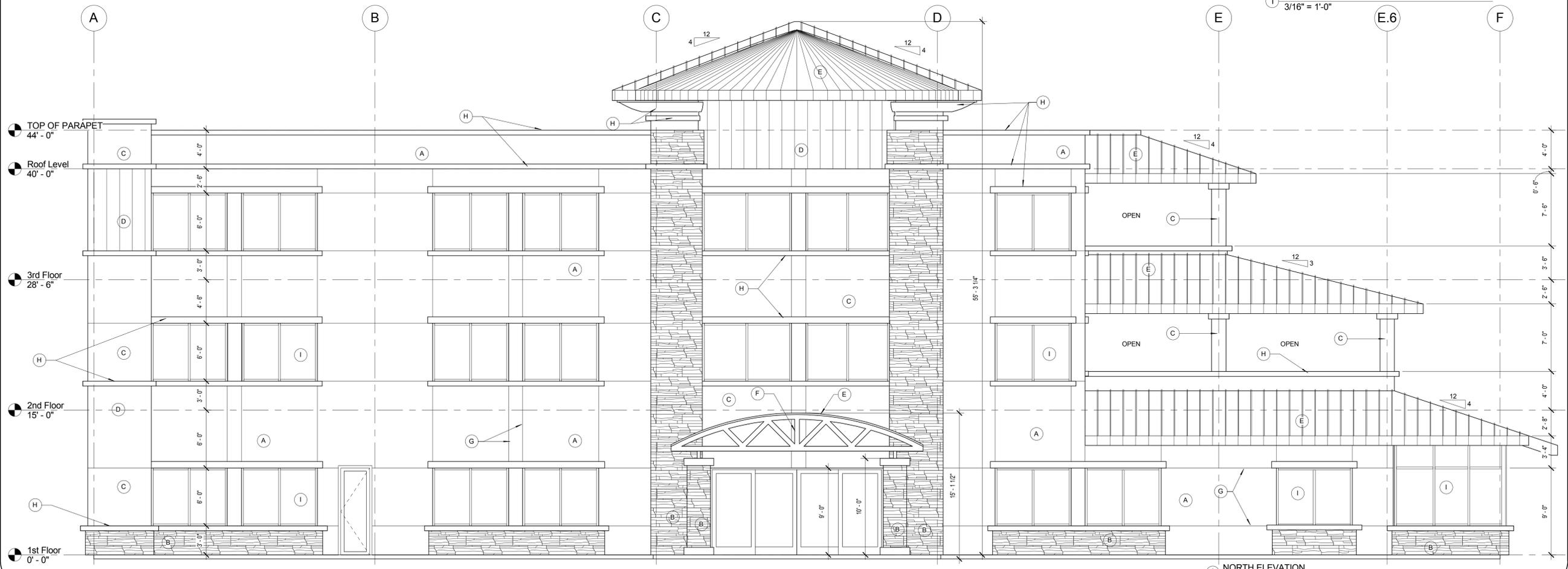


① 3rd FLOOR PLAN
 3/16" = 1'-0"

Exterior Elevation Notes		
Number	Description	Comments
A	TILT-UP CONCRETE	
B	STONE VENEER	ADHERED VENEER PER CBC 1405.15
C	CEMENT PLASTER OVER STUD FRAME	
D	INSULATED ALUMINUM PANEL	
E	STANDING SEAM METAL ROOF	
F	METAL TRUSS	
G	PANEL JOINT OR REVEAL	
H	PLASTER FINISH TRIM	
I	ALUMINUM FRAME WINDOW	
J	STEEL TUBES	
K	COLUMN WITH CEMENT PLASTER FINISH	



1 WEST ELEVATION
3/16" = 1'-0"



2 NORTH ELEVATION
3/16" = 1'-0"



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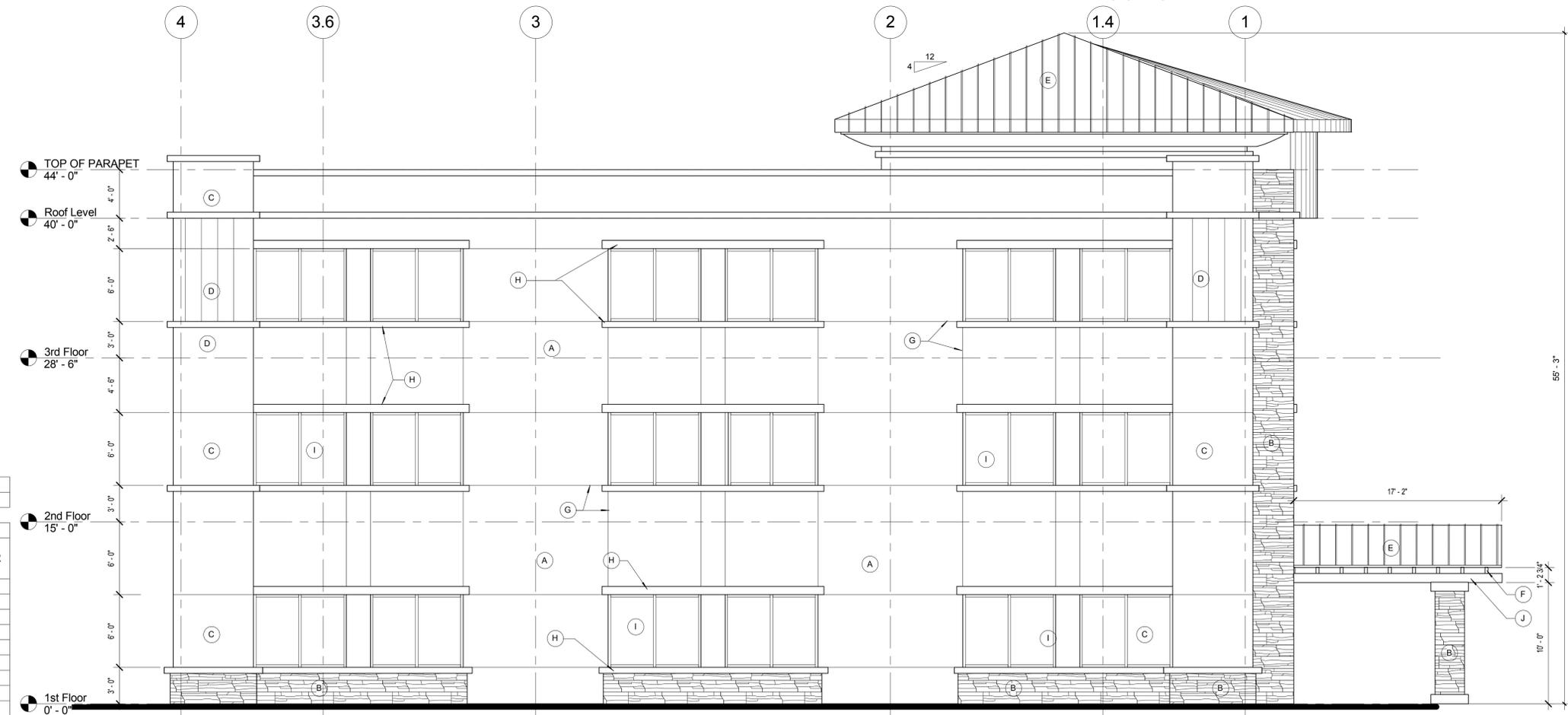
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EXTERIOR ELEVATIONS
A-06



1 SOUTH ELEVATION
3/16" = 1'-0"



2 EAST ELEVATION
3/16" = 1'-0"

Exterior Elevation Notes		
Number	Description	Comments
A	TILT-UP CONCRETE	
B	STONE VENEER	ADHERED VENEER PER CBC 1405.15
C	CEMENT PLASTER OVER STUD FRAME	
D	INSULATED ALUMINUM PANEL	
E	STANDING SEAM METAL ROOF	
F	METAL TRUSS	
G	PANEL JOINT OR REVEAL	
H	PLASTER FINISH TRIM	
I	ALUMINUM FRAME WINDOW	
J	STEEL TUBES	
K	COLUMN WITH CEMENT PLASTER FINISH	



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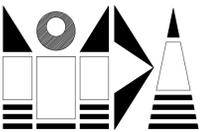
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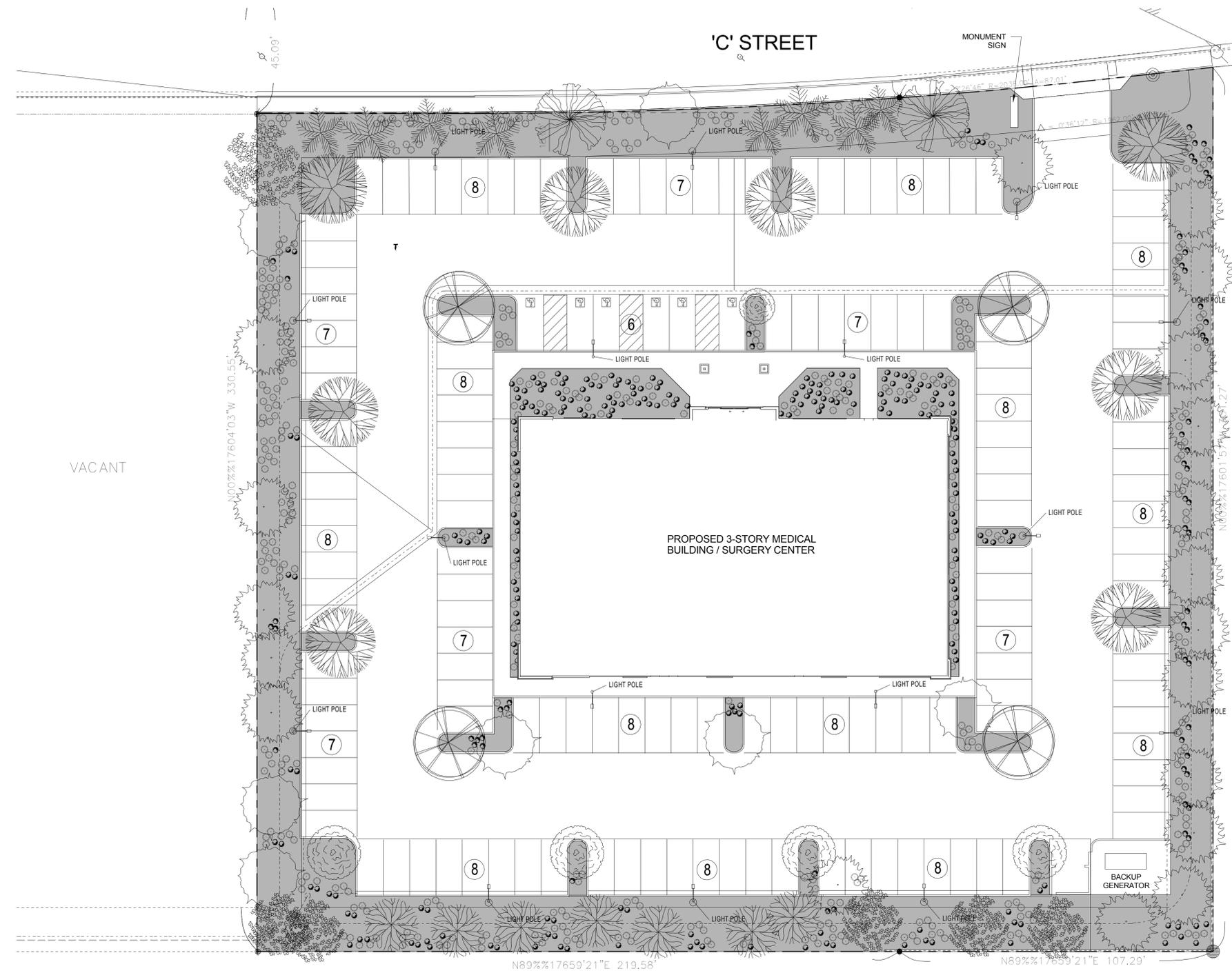


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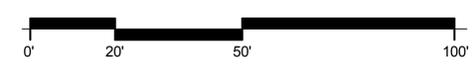
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SYMBOL	BOTANICAL NAME	COMMON NAME
	ARBUTUS 'MARINA'	ARBUTUS 'MARINA'
	JACARAANDA MIMOSIFOLIA	JACARANDA
	LAGERSTROMERIA HYBRIDS	CREPE MYRTLE
	LUQUIDAMBAR STYRACIFLUA	'PALO ALTO'
	MAGNOLIA GRANDIFLORA	'LITTLE GEM'
	MAGNOLIA GRANDIFLORA	'D. D. BLANCHARD'
	OLEA EUROPEA	'SWAN HILL'
	QUERCUS AGRIFOLIA	COAST LIVE OAK
	SYAGRUS ROMANZOFFIANA	'QUEEN PALM'

1 CONCEPTUAL LANDSCAPE PLAN
 1" = 20'-0"



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1 3D View 1



2 3D View 2



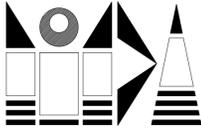
3 3D View 3



4 3D View 4



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TOP OF PARAPET
44' - 0"
 Roof Level
40' - 0"
 3rd Floor
28' - 6"
 2nd Floor
15' - 0"
 1st Floor
0' - 0"

① OPTION 'A' NORTH ELEVATION
1/8" = 1'-0"



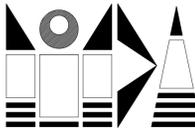
TOP OF PARAPET
44' - 0"
 Roof Level
40' - 0"
 3rd Floor
28' - 6"
 2nd Floor
15' - 0"
 1st Floor
0' - 0"

② OPTION 'A' WEST ELEVATION
1/8" = 1'-0"

OPTION 'A'



ARCHITECTS:



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COLORED ELEVATIONS

A-09



① OPTION 'A' SOUTH ELEVATION
1/8" = 1'-0"

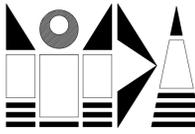


② OPTION 'A' EAST ELEVATION
1/8" = 1'-0"

OPTION 'A'



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COLORED ELEVATIONS

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